

**NEW DEVELOPMENT IN
COLLEGE STATION
August 2024**

[**Saddle Creek II \(PP2024-000013\):**](#) 4875 Wade Road; A Preliminary Plan of 70 lots on approximately 97 acres.

[**First National Bank of Central Texas \(SP2024-000102\):**](#) 4270 State Highway 6 South; A Site Plan for a bank.

[**Midtown Subdivision Phase 113 \(FP2024-000033\):**](#) 895 Kickapoo Lane; A Final Plat of 52 lots on approximately 8 acres.

[**Midtown Subdivision Phase 109 & 111 \(FP2024-000034\):**](#) 879 Kickapoo Lane; A Final Plat of 2 lots on approximately 7 acres.

[**Southern Pointe Section 701 \(FP2024-000035\):**](#) 17529 State Highway 6 South; A Final Plat of 59 lots on 13 approximately acres.

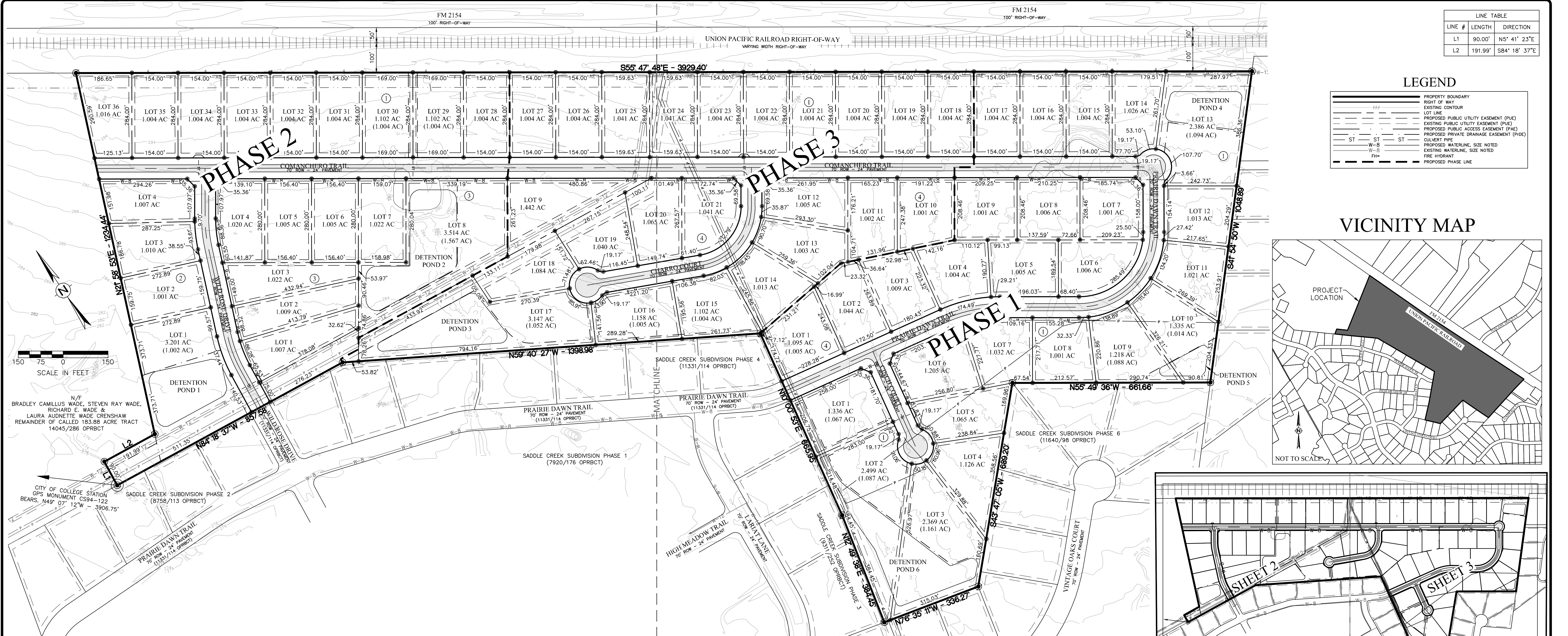
[**Southern Pointe Section 401 \(FPCO2024-000006\):**](#) 1122 Southern Pointe Parkway; A Final Plat of 6 lots on 7 approximately acres.

[**Lelya Heights Subdivision Phae 1 \(FP2024-000031\):**](#) 2542 Barron Road; A Final Plat of 32 Lots on approximately 7 acres.

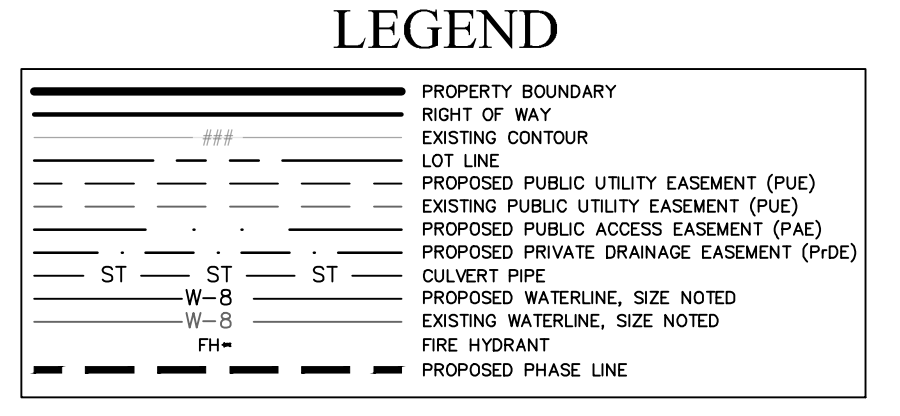
[**Ray Cowhart Division Lots 1N-R, 2N-R & 3N-R \(FP2024-000036\):**](#) A Final Plat of 3 lots on approximately 21 acres.

[**Brazos Moving & Storage #6 \(FPCO2024-000002\):**](#) 14565 Farm to Market Road 2154; A Final Plat of 2 lots on approximately 7 acres.

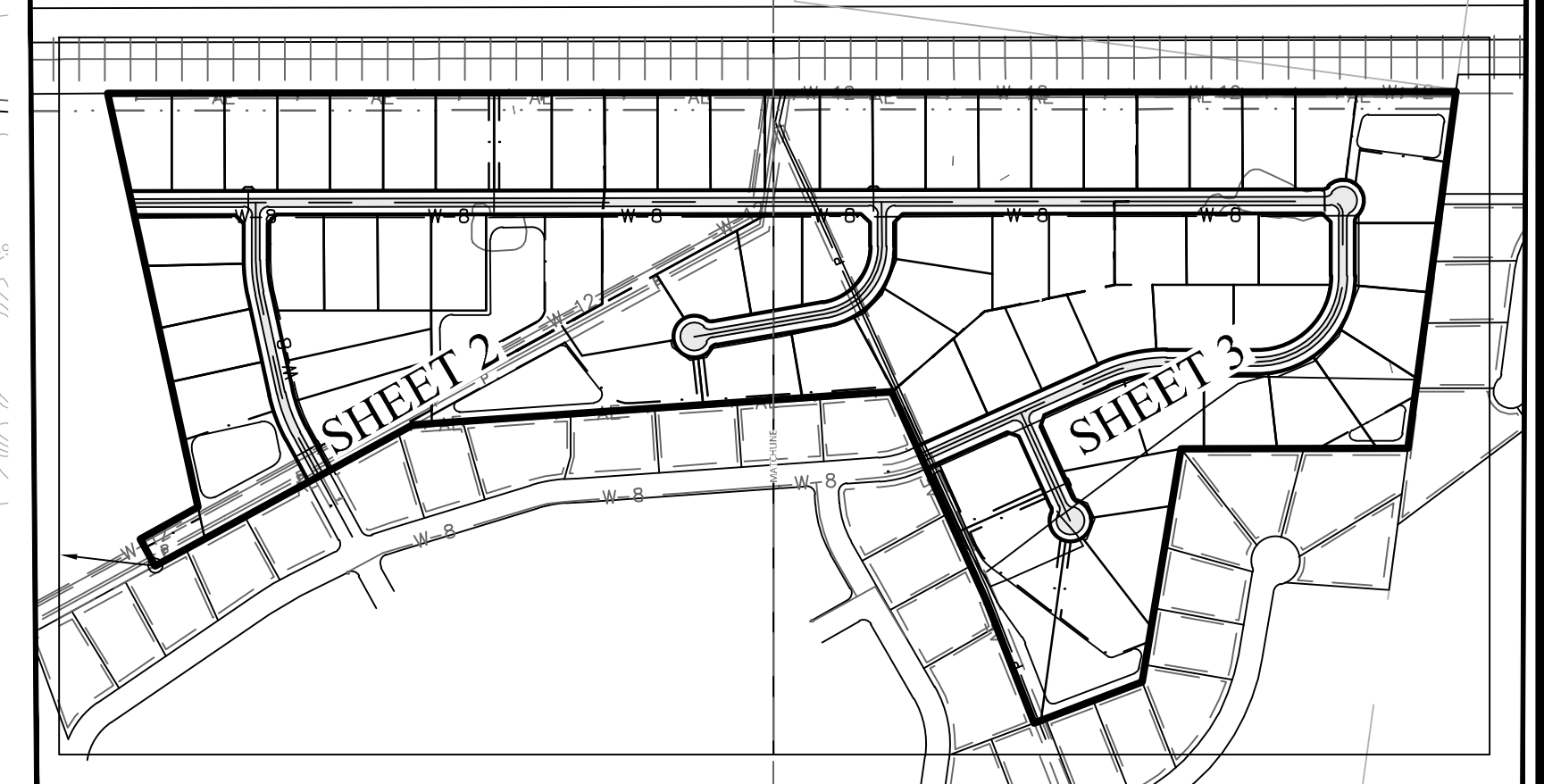
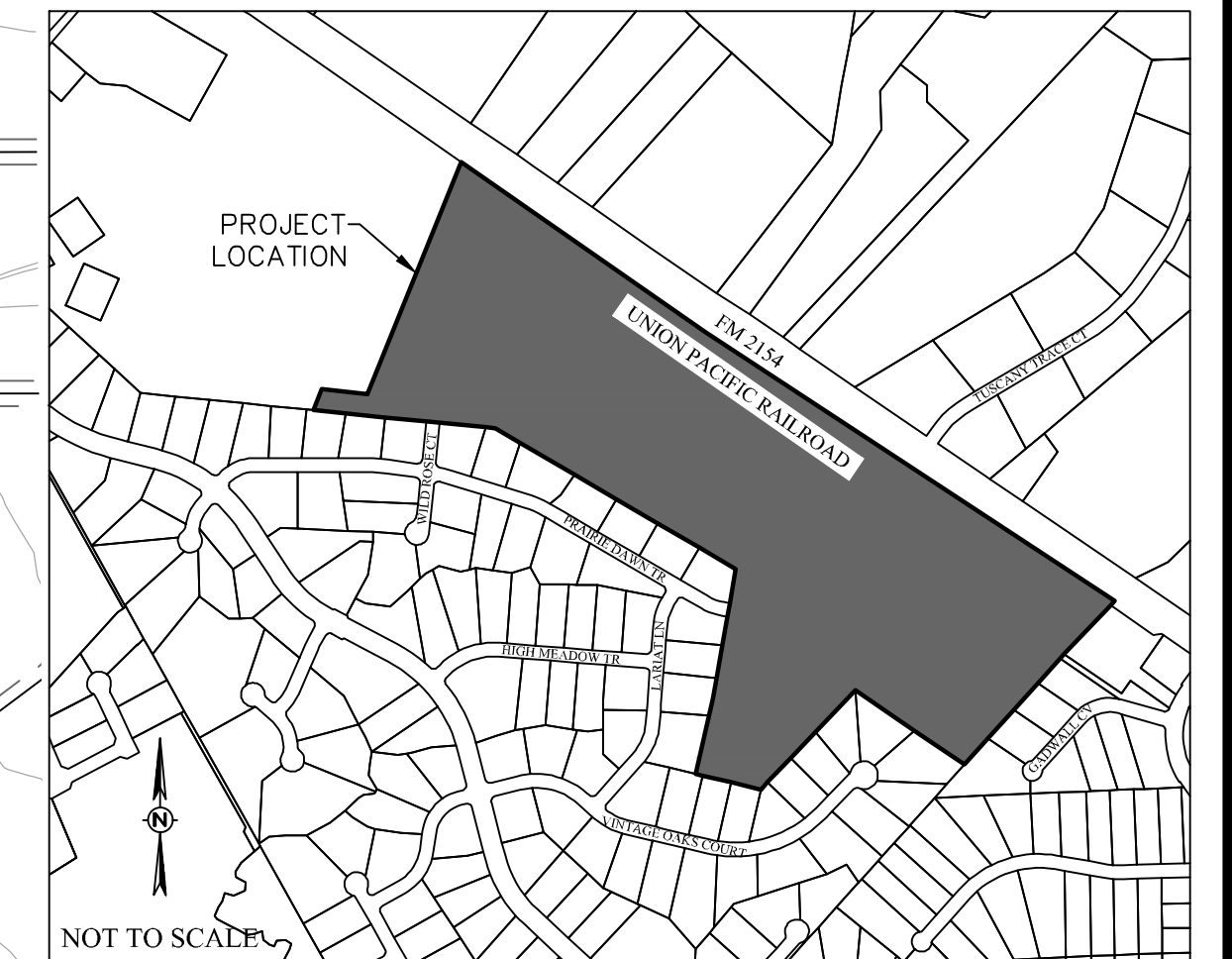
[**Kraken's Revenge Mini Golf \(SP2024-000100\):**](#) 508 Earl Rudder Freeway South; A Site Plan for a mini golf course.



LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	90.00'	N5° 41' 23"E
L2	191.99'	S84° 18' 37"E



VICINITY MAP



NOTES:

- BEARING SYSTEM SHOWN HEREON IS BASED ON TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE (4203), GRID NORTH AS ESTABLISHED FROM GPS OBSERVATION USING THE LEICA SMARTNET N403 (02/01) EPOCH 2010 MULTI-BEAM CORP SOLUTION 2 (MPC52).
- CONTOUR LINES AND ELEVATIONS SHOWN HEREON WERE CREATED BASED ON DATA COLLECTED IN THE FIELD BY KERR SURVEYING USING AERIAL ORTHO LINEAR AND CONTOUR DATA. ELEVATION DATUM: NAVD 1988 (GEOID128).
- DISTANCES SHOWN HEREON ARE SURFACE DISTANCES UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCES (NOT AREAS) DIVIDE BY A COMBINED SCALE FACTOR OF 1.0000890284655 (CALCULATED USING GEOID128).
- NO PORTION OF THIS TRACT IS WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY AND INCORPORATED AREAS, MAP NO. 48041003252 & 48041003752, EFFECTIVE DATE: MAY 16, 2012.
- THE WATER SUPPLIER FOR THIS DEVELOPMENT IS THE WELLSBORO SPECIAL UTILITY DISTRICT. THE WATERLINES WILL BE DESIGNED AND CONSTRUCTED TO CITY OF COLLEGE STATION SPECIFICATIONS AND STANDARDS AND WILL BE LOCATED IN UTILITY EASEMENTS AT THE FRONT OF THE RESIDENTIAL LOTS. THESE WATERLINES WILL PROVIDE THE REQUIRED FLOW TO FIRE HYDRANTS TO MEET FIRE PROTECTION REQUIREMENTS.
- A WATER DESIGN REPORT FOR THIS SUBDIVISION WILL BE PROVIDED PER CITY STANDARDS.
- ALL PUBLIC DRAINAGE EASEMENTS WILL BE IMPROVED ACCORDING TO THE DRAINAGE POLICY AND DESIGN STANDARDS.
- THE PRIVATE DRAINAGE EASEMENTS WILL BE MAINTAINED BY THE LOT OWNERS. LANDSCAPE, FENCES, STRUCTURES, GRADING ETC. CANNOT IMPEDE THE FLOW OF THE PRIVATE DRAINAGE EASEMENT.
- STORM WATER DETENTION PONDS WILL BE OWNED AND MAINTAINED BY THE LOT OWNER.
- IN LOCATIONS WITH CROSS LOT DRAINAGE OF STORMWATER RUNOFF, A DRAINAGE WAY SHALL BE PROVIDED THAT THE FLOW IS NOT IMPEDED BY FENCES, STRUCTURES OR OTHER FACILITIES.
- THE INFORMATION SHOWN ON THIS PLAN IS NOT FOR CONSTRUCTION, REFER TO SEALED CONSTRUCTION PLANS FOR FINAL INFORMATION.
- BUILDING SETBACK ARE 25' ADJACENT TO ALL STREETS ACCORDING TO BRAZOS COUNTY SUBDIVISION AND DEVELOPMENT REGULATIONS. ADDITIONAL BUILDING SETBACKS MAY BE REQUIRED BY DEED RESTRICTIONS OR THIS PLAN.
- WHERE ELECTRIC FACILITIES ARE INSTALLED, BTU HAS THE RIGHT TO INSTALL, OPERATE, RELOCATE, CONSTRUCT, RECONSTRUCT, ADD TO, MAINTAIN, INSPECT, PATROL, ENLARGE, REPAIR, REMOVE AND REPLACE, SAID FACILITIES UPON, UNDER AND ACROSS THE PROPERTY INCLUDING IN THE PUE, AND THE RIGHT OF INGRESS AND EGRESS ON PROPERTY ADJACENT TO THE PUE TO ACCESS ELECTRIC FACILITIES.
- ELECTRIC SERVICE FOR THIS DEVELOPMENT WILL BE PROVIDED BY BRYAN TEXAS UTILITIES (BTU). THE ELECTRIC DISTRIBUTION LINES WILL BE LOCATED IN THE 16' UTILITY EASEMENT AT THE FRONT OF THE LOTS AND IN THE SIDE LOT EASEMENTS. ELECTRICAL DISTRIBUTION LINES MAY ALSO BE LOCATED IN THE 20' P.U.E. ALONG THE PERIMETER OF THE SUBDIVISION. ADDITIONAL EASEMENTS WILL BE PROVIDED AS REQUIRED BY BTU.
- THE STREETS FOR THIS DEVELOPMENT WILL BE CONSTRUCTED TO THE RURAL STREET STANDARDS PER BRAZOS COUNTY REQUIREMENTS, EFFECTIVE SEPTEMBER 22, 2021.
- DRAINAGE OF THE LOTS WILL FOLLOW NATURAL DRAINAGE PATTERNS. BORROW DITCHES WILL CONVEY RUNOFF TO CULVERT STRUCTURES OR TO NATURAL DRAINAGES. THE EXISTING DRAINAGE WAYS SHALL BE PRESERVED IN THEIR CONDITION AND THE NATURAL FLOW OF WATER IN THE EXISTING DRAINAGE WAYS SHALL NOT BE OBSTRUCTED.
- ALL TREES AND BRUSH SHALL BE REMOVED FROM THE ROADWAY RIGHTS-OF-WAY, RIGHTS-OF-WAY DEDICATION AREAS AND PUBLIC UTILITY EASEMENTS.
- THERE SHALL BE A 5' WIDE EASEMENT FOR ANCHORS AND GUY WIRES NECESSARY TO HELP SUPPORT OVERHEAD UTILITY LINES. SAID EASEMENTS WILL EXTEND 20' BEYOND ANY UTILITY EASEMENT.
- ALL INTERIOR LOT LINES SHALL HAVE A 20' PUBLIC UTILITY EASEMENT CENTERED ON THE LOT LINE. ALL REAR LOT LINES THAT ADJOIN ANOTHER LOT WILL HAVE A 10' UTILITY EASEMENT ALONG THE COMMON LOT LINE, EXCEPT WHERE REAR LOT LINES FOLLOW EXISTING DRAINAGE WAYS.
- ALL UTILITY LINES PLACED UNDER THE STREET PAVEMENT WILL BE ENCASED BY A MATERIAL APPROVED BY THE BRAZOS COUNTY ENGINEER.
- BRAZOS COUNTY WILL BE RESPONSIBLE FOR MAINTAINING PUBLIC DRAINAGE EASEMENTS. THE HOME OWNERS' ASSOCIATION (HOA) OR THE LOT OWNER WILL MAINTAIN THE PRIVATE DRAINAGE EASEMENTS.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST APPROVED EDITION OF THE BRAZOS COUNTY SUBDIVISION REGULATIONS, ARTICLE VIII. CONSTRUCTION STANDARDS OF THE 2000 SUBDIVISION AND DEVELOPMENT REGULATIONS DATED 09/22/2001, AND CITY OF BRYAN/COLLEGE STATION STANDARD SPECIFICATIONS AND DETAILS FOR WATER, SEWER, STREETS AND DRAINAGE. ALL CONSTRUCTION SHALL BE COORDINATED WITH THE COUNTY ENGINEER'S OFFICE.

23. NO STRUCTURE OR LAND WITHIN THIS PLAT SHALL HEREAFTER BE LOCATED OR ALTERED WITHOUT FIRST OBTAINING A DEVELOPMENT PERMIT FROM THE BRAZOS COUNTY FLOODPLAIN ADMINISTRATOR.

24. THE MINIMUM LOWEST FINISHED FLOOR ELEVATION SHALL BE ONE (1) FOOT HIGHER THAN THE HIGHEST SPOT ELEVATION THAT IS LOCATED WITHIN (5) FEET OUTSIDE THE PERIMETER OF THE BUILDING, OR TWO (2) FEET ABOVE THE BASE FLOOD ELEVATION ("BFE"), WHICHEVER IS HIGHER.

25. RURAL MAILBOXES SHALL BE SET FIVE (5) FEET FROM THE EDGE OF THE PAVEMENT OR BOUND CURBS, WHEN USED. ALL MAILBOXES WITHIN COUNTY AERIAL RIGHT-OF-WAY SHALL MEET THE CURRENT FOOT STANDARDS. ANY MAILBOX THAT DOES NOT MEET THIS REQUIREMENT MAY BE REMOVED BY BRAZOS COUNTY.

26. FOR SINGLE-FAMILY RESIDENTIAL DEVELOPMENTS, MULTI-UNIT RESIDENTIAL DEVELOPMENTS OR MANUFACTURED HOME COMMUNITIES, NEIGHBOR DELIVERY AND COLLECTION BOX UNITS ("CUBOX"), OR COMMUNITY MAILBOXES, SHALL BE PROVIDED, IF POSSIBLE, THESE MAILBOX UNITS SHOULD BE INSTALLED ON LOW VOLUME INTERSECTING ROADWAYS OR ON PRIVATE PROPERTY. LOCATIONS FOR THE CUBOX SHALL BE SHOWN ON THE CONSTRUCTION PLANS.

27. IN APPROVING THIS PLAT BY THE COMMISSIONER'S COURT OF BRAZOS COUNTY, TEXAS, IT IS UNDERSTOOD THAT THE BUILDING OF ALL ROADS, AND OTHER PUBLIC THOROUGHFARES AND ANY BRIDGES OR CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IS THE RESPONSIBILITY OF THE OWNER(S) OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONER'S COURT OF BRAZOS COUNTY, TEXAS. SAID COMMISSIONER'S COURT ASSUMES NO OBLIGATION TO BUILD ANY OF THE ROADS, OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT, OR OF CONSTRUCTING ANY OF THE BRIDGES OR DRAINAGE IMPROVEMENTS IN CONNECTION THEREWITH. THE COUNTY WILL ASSUME NO RESPONSIBILITY FOR DRAINAGE WAITS OR EASEMENTS IN THE SUBDIVISION, OTHER THAN THOSE DRAINING OR PROTECTING THE ROAD SYSTEM.

28. IT IS THE RESPONSIBILITY OF THE OWNER, NOT THE COUNTY TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE STATE, FEDERAL AND LOCAL LAWS AND REGULATIONS RELATING TO THE PLATING AND DEVELOPMENT OF THIS PROPERTY.

29. THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF REPRESENTATIONS BY THE OTHER PARTIES IN THIS PLAT. FLOODPLAIN DATA, IN PARTICULAR, MAY CHANGE. IT IS FURTHER UNDERSTOOD THAT THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT MUST INSTALL AT THEIR OWN EXPENSE ALL TRAFFIC CONTROL DEVICES AND SIGNAGE THAT MAY BE REQUIRED BEFORE THE ROADS IN THE SUBDIVISION HAVE FINALLY BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY.

30. THIS SURVEY PLAT WAS PREPARED TO REFLECT THE TITLE COMMITMENT ISSUED BY UNIVERSITY TITLE COMPANY, OF NO. 2304554CS, EFFECTIVE DATE: 07-08-2024. ITEMS LISTED ON SCHEDULE B ARE ADDRESSED AS FOLLOWS:

- ITEM 10: WATERLINE EASEMENT TO WELLSBORO WATER SUPPLY CORP. (303/385 DRBCT) DOES AFFECT THIS TRACT. THIS EASEMENT IS 20' WIDE, CENTERED ON WATERLINE(S) AS INSTALLED (NOT PLOTTED DUE TO LACK OF DEFINED LOCATION).
- ITEM 10: 30' WIDE PIPELINE EASEMENT (1842/357 DRBCT) DOES CROSS THIS TRACT AS SHOWN HEREON.
- ITEM 10: 60' WIDE PIPELINE EASEMENT (472/225 DRBCT) DOES CROSS THIS TRACT AS SHOWN HEREON.
- ITEM 10: 15' WIDE WATERLINE EASEMENT (4322/228 DRBCT) DOES CROSS THIS TRACT AS SHOWN HEREON.
- ITEM 10: 50' WIDE ELECTRICAL EASEMENT (10318/253 DRBCT) DOES CROSS THIS TRACT AS SHOWN.
- ITEM 10: THE TELECOMMUNICATION LINE COVERED BY BLANKET EASEMENT (12824/69 DRBCT) LIES ENTIRELY WITHIN THE ADJACENT RAILROAD RIGHT-OF-WAY AND DOES NOT CROSS THIS TRACT.
- ALL OTHER ITEMS ARE NOT SURVEY ITEMS AND/OR ARE NOT ADDRESSED BY THIS PLAT.

OSPF NOTES

SANITARY SEWAGE TREATMENT AND DISPOSAL WILL BE PROVIDED BY ON-SITE SEWAGE FACILITY (OSSF) SYSTEMS.

- PROPOSED LOTS TO BE SERVED BY OSSSF SHALL COMPLY WITH ALL APPLICABLE COUNTY AND STATE REGULATIONS INCLUDING THE MINIMUM LOT REQUIREMENTS REQUIRED BY BRAZOS COUNTY.
- PROPERTY THAT WILL USE AN ON-SITE SEWAGE FACILITY (OSSSF) FOR SEWAGE DISPOSAL SHALL BE EVALUATED FOR OVERALL SITE SUITABILITY. THE RESULTS OF A SITE EVALUATION, CONDUCTED ACCORDING TO 30 TAC §285.30 PREPARED BY A LICENSED SITE EVALUATOR OR TEXAS PROFESSIONAL ENGINEER SHALL BE REQUIRED BEFORE APPROVAL OF AN OSSSF BY THE PERMITTING AUTHORITY.
- A COMPLETE PERMIT APPLICATION FORM, FEE AND THE REQUIRED PLANNING MATERIALS APPROVED BY THE PERMITTING AUTHORITY ARE REQUIRED PRIOR TO THE ISSUANCE OF AUTHORIZATION TO CONSTRUCT (ATC) FOR ALL OSSSF IN BRAZOS COUNTY REGARDLESS OF THE ACREAGE OF THE TRACT. NO OSSSF SHALL BEGIN CONSTRUCTION IN BRAZOS COUNTY PRIOR TO THE ISSUANCE OF THE ATC.
- OSSSF PLANNING MATERIALS SHALL INCLUDE THE REQUIRED TOPOGRAPHY ANALYSIS FOR EACH TRACT AND DEMONSTRATE TO THE SATISFACTION OF THE PERMITTING AUTHORITY IN THE DESIGN TECHNICAL REPORT AND SITE DRAWINGS THE SUITABILITY OF THE PROPOSED DISPOSAL METHOD FOR THE SLOPE AND DRAINAGE FEATURES OF EACH TRACT TO ENSURE PROTECTION OF SURFACE AND GROUND WATERS OF THE STATE.
- ANY POTENTIAL OSSSF SITE WITHIN A 100-YEAR FLOODPLAIN IS SUBJECT TO THE SPECIAL PLANNING REQUIREMENTS IN 30 TAC §285.31(C)(2) AND SHALL BE LOCATED SO THAT A FLOOD WILL NOT DAMAGE THE OSSSF DURING A FLOOD EVENT, RESULTING IN CONTAMINATION OF THE ENVIRONMENT.
- NO OSSSF TANK, COLLECTION, DISTRIBUTION, OR DISPOSAL MAY ENCRoACH THE SEPARATION REQUIREMENTS OF SURFACE OR GROUND WATER INCLUDING FOR INTERMITTENT AND PERENNIAL STREAMS AND THE NORMAL POOL LEVEL OF IMPOUNDMENTS OR SPILLWAY ELEVATION. SUBDIVISION AND DEVELOPMENT PLANS ALTERING THE LOCATION AND NATURAL STREAMS OF MARSHED STREAMS MUST OBTAIN THE PERMISSION OF THE BRAZOS COUNTY ENGINEER AND ANY OTHER STATE OR FEDERAL AGENCY REGULATING SURFACE WATERS OF THE STATE AND WHERE SUCH ALTERATION OCCUR PROVIDE A COPY OF THE ENGINEERED DRAINAGE PLAN TO THE OSSSF PERMITTING AUTHORITY WITH THE SUBDIVISION PLAN OR DEVELOPMENT PLAN.

G. THE LOCATIONS OF ALL PRIVATE AND PUBLIC WATER WELLS, WHETHER CURRENTLY IN USE OR ABANDONED, AND REGARDLESS OF AVAILABILITY OF POTABLE WATER SUPPLY FROM PWS AT A TRACT, SHALL BE INDICATED ON THE SUBDIVISION SURVEY AND ANY SITE DRAWINGS AND SHALL REQUIRE THE SEPARATION DISTANCES SPECIFIED IN 30 TAC §285.91(10). A COPY OF THE WELL PLUGGING REPORT FILED WITH THE TEXAS WATER DEVELOPMENT BOARD IS REQUIRED FOR ANY WELL PREVIOUSLY KNOWN OR INDICATED AT A TRACT. DO NOT REMOVE WELL HEADS PRIOR TO THE REQUIRED PLUGGING OF THE BORE. SEPARATION DISTANCES OF OSSSF FROM PREVIOUSLY KNOWN WATER WELLS WILL NOT BE REDUCED WITHOUT A PLUGGING REPORT DOCUMENTING PROTECTION OF GROUNDWATER ACQUIERS. THIS SITUATION COULD PREVENT APPROVAL OF AN OSSSF FOR A SMALL TRACT.

H. NO OSSSF TREATMENT OR DISPOSAL COMPONENTS MAY ENCRoACH INTO ANY AREA RESERVED AS A PUBLIC UTILITY EASEMENT (PUE) WITHOUT A VARIANCE BEING REQUESTED AND APPROVED BY THE PERMITTING AUTHORITY. VARIANCE WILL BE REVIEWED AND APPROVED ON A CASE-BY-CASE BASIS. PROPOSED ENCRoACHMENTS INTO PIPELINE AND ELECTRICAL TRANSMISSION EASEMENTS SHALL REQUIRE BOTH THE APPROVED VARIANCE BY THE PERMITTING AUTHORITY AND ALL LETTERS OF PERMISSION DESCRIBED IN §285.91(10) OR AS REQUIRED BY THE PERMITTING AUTHORITY IN SUPPORT OF ANY APPROVED VARIANCE. ALL UNDERGROUND AND OVERHEAD EASEMENTS MUST BE CLEARLY DELINEATED ON THE SUBDIVISION PLAT WITH DIMENSIONS INDICATED.

PRELIMINARY PLAN

SADDLE CREEK II SUBDIVISION

96.52 ACRES - 70 LOTS
 JAMES STUTEVILLE, A-216
 COLLEGE STATION, BRAZOS COUNTY, TEXAS

PHASE 1: 36.248 ACRES - 26 LOTS
 PHASE 2: 30.168 ACRES - 21 LOTS
 PHASE 3: 30.105 ACRES - 23 LOTS

OWNER:
 BRADLEY CAMILLUS WADE
 ANNIE BELL WADE
 LAURA AUDNETTE WADE CRENSHAW
 RICHARD EUGENE WADE
 STEVEN RAY WADE
 5179 Wade Road
 College Station, TX 77845

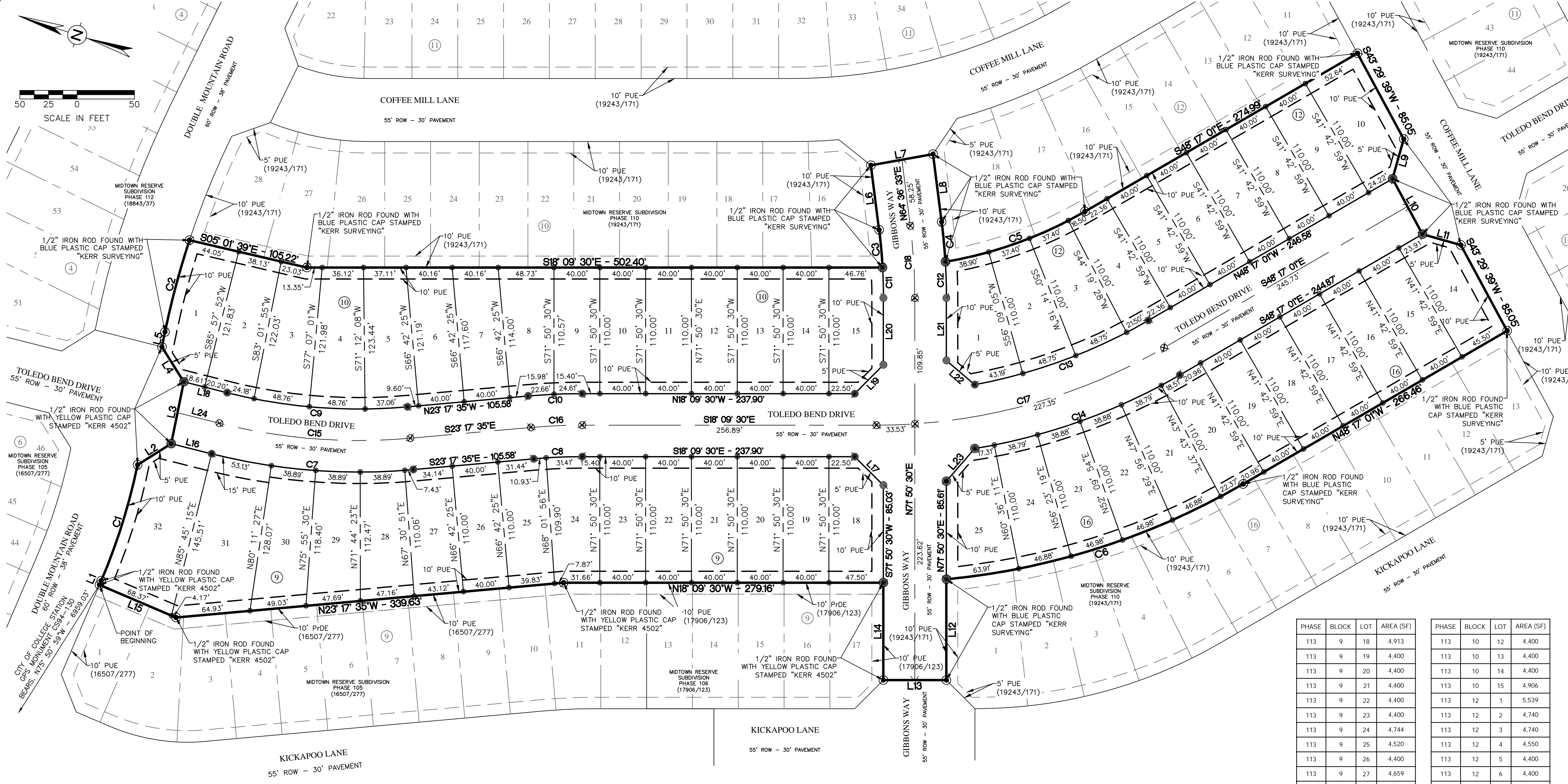
SCALE: AS SHOWN
 AUGUST 2024

ENGINEER:
 Michael Konetski, RPLS No. 6531
 Ken Surveying, LLC
 409 N. Texas Ave.
 Bryan, TX 77801
 (979) 268-3195

DEVELOPER:
 SCOTT LOVETT
 1926 JUDSON STREET
 MANHATTAN, KS 66502
 (979) 224-3721

ENGINEER:
 SCHULTZ
 TPBE NO. 12227
 911 SOUTHWEST PKWY E.
 College Station, Texas 77840
 (979) 764-3900

SHEET 1 OF 3



FIELD NOTES DESCRIPTION OF A 7.710 ACRE TRACT
 THOMAS CARUTHERS LEAGUE SURVEY, ABSTRACT NO. 9
 COLLEGE STATION, BRAZOS COUNTY, TEXAS

A FIELD NOTES DESCRIPTION OF 7.710 ACRES IN THE THOMAS CARUTHERS LEAGUE SURVEY, ABSTRACT NO. 9, IN COLLEGE STATION, BRAZOS COUNTY, TEXAS, BEING A PORTION OF THE REMAINDER OF A CALLED 111.679 ACRE TRACT CONVEYED TO COLLEGE STATION DOWNTOWN RESIDENTIAL, LLC IN VOLUME 14405, PAGE 186 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS (OPRBC) AND A PORTION OF A CALLED 33.342 ACRE TRACT CONVEYED TO COLLEGE STATION DOWNTOWN RESIDENTIAL, LLC IN VOLUME 16558, PAGE 80 (OPRBC); SAID 7.710 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2 inch iron rod found (all 1/2 inch iron rods found with yellow plastic caps stamped "KERR SURVEYING" unless otherwise noted) on the south right-of-way line of Double Mountain Road (60 foot right-of-way), as depicted on the plat of Midtown Reserve Subdivision Phase 105 recorded in Volume 16507, Page 277 (OPRBC), marking the northeast corner of Lot 1, Block 9, Midtown Reserve Subdivision Phase 105; for reference, the City of College Station GPS Monument CS94-130 bears N 75° 50' 59" W a distance of 6,959.03 feet;

THENCE, with said plotted right-of-way (16507/277 OPRBC) for the following five (5) courses and distances:

- 1) S 85° 01' 50" E a distance of 3.91 feet to a 1/2 inch iron rod found;
- 2) With a tangent curve to the left having a radius of 530.00 feet, an arc length of 106.17 feet, a delta angle of 11° 28' 37", and a chord which bears N 89° 13' 52" E a distance of 105.99 feet to a 1/2 inch iron rod found;
- 3) S 50° 26' 59" E a distance of 34.69 feet to a 1/2 inch iron rod found;
- 4) N 83° 29' 33" E a distance of 55.05 feet to a 1/2 inch iron rod found;
- 5) N 39° 43' 43" E a distance of 36.11 feet to a 1/2 inch iron rod found;

THENCE, with said plotted right-of-way as shown on the plat of Midtown Reserve Subdivision Phase 109 & 112 recorded in Volume 18843, Page 37 (OPRBC) for the following two (2) courses and distances:

- 1) N 83° 29' 33" E a distance of 13.15 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 2) With a tangent curve to the right having a radius of 720.00 feet, an arc length of 83.01 feet, a delta angle of 06° 36' 21", and a chord which bears N 86° 47' 44" E a distance of 82.97 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING" marking the northwest corner of Lot 28, Block 10 of said Midtown Reserve Subdivision Phase 110 recorded in Volume 19243, Page 171 (OPRBC);

THENCE, with the exterior plotted boundary of said Phase 110 for the following seventeen (17) courses and distances:

- 1) S 05° 01' 39" E a distance of 105.22 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 2) S 18° 09' 30" E a distance of 502.40 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 3) With a non-tangent curve to the left having a radius of 472.50 feet, an arc length of 33.10 feet, a delta angle of 04° 00' 51", and a chord which bears N 65° 38' 58" E a distance of 33.10 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 4) N 64° 36' 33" E a distance of 56.83 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 5) S 28° 20' 02" E a distance of 55.07 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 6) S 64° 36' 33" W a distance of 59.66 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 7) With a tangent curve to the right having a radius of 527.50 feet, an arc length of 35.03 feet, a delta angle of 03° 48' 17", and a chord which bears S 66° 30' 41" W a distance of 35.02 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 8) With a non-tangent curve to the left having a radius of 362.50 feet, an arc length of 130.25 feet, a delta angle of 20° 35' 11", and a chord which bears S 37° 59' 25" E a distance of 129.55 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 9) S 48° 17' 01" E a distance of 274.99 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 10) S 43° 29' 39" W a distance of 85.05 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 11) S 87° 36' 19" W a distance of 35.90 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 12) S 43° 29' 39" W a distance of 55.03 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 13) S 02° 23' 41" E a distance of 34.80 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 14) S 43° 29' 39" W a distance of 85.05 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 15) N 48° 17' 01" W a distance of 266.46 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 16) With a tangent curve to the right having a radius of 637.50 feet, an arc length of 274.08 feet, a delta angle of 24° 37' 59", and a chord which bears N 35° 58' 01" W a distance of 271.97 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING";
- 17) S 71° 50' 30" W a distance of 87.93 feet to a 1/2 inch iron rod found with blue plastic cap stamped "KERR SURVEYING" marking a northwest corner of Lot 1, Block 16 and a point on the south right-of-way of Gibbons Way (55' right-of-way, as depicted on the plat of Midtown Reserve Subdivision Phase 106, 17906/123 OPRBC);

THENCE, with the exterior plotted lines of said Phase 106 for the following two (2) courses and distances:

- 1) N 18° 09' 30" W a distance of 55.00 feet to a 1/2 inch iron rod found;
- 2) N 71° 50' 30" E a distance of 85.00 feet to a 1/2 inch iron rod found;

THENCE, with the east lines of said Phases 106 and 105, N 18° 09' 30" W a distance of 279.16 feet to a 1/2 inch iron rod found;

THENCE, with the east lines of said Phase 105 for the following two (2) courses and distances:

- 1) N 23° 17' 35" W a distance of 339.63 feet to a 1/2 inch iron rod found;
- 2) N 04° 58' 10" E a distance of 72.54 feet to the POINT OF BEGINNING hereof and containing 7.710 acres of land, more or less. Surveyed on the ground in 2020-2024 by this professional land surveying firm and under my supervision.

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
 COUNTY OF BRAZOS

I, College Station Downtown Residential, LLC, owner and developer of the land shown on this plat, and designated herein as the Midtown Reserve Subdivision, Phase 113, to the City of College Station, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, greenways, infrastructure, easements and public places thereon shown for the purpose and consideration therein expressed.

Wallace Phillips III, Manager
 College Station Downtown Residential, LLC

STATE OF TEXAS
 COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Wallace Phillips, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this ____ day of _____, 20____.

LINE #	LENGTH	DIRECTION
L1	3.91'	S85° 01' 50"E
L2	34.69'	S50° 26' 59"E
L3	55.05'	N83° 29' 33"E
L4	36.11'	N39° 43' 43"E
L5	13.15'	N83° 29' 33"E
L6	56.83'	N64° 36' 33"E
L7	55.07'	S28° 20' 02"E
L8	59.66'	S64° 36' 33"W
L9	35.90'	S87° 36' 19"W
L10	55.03'	S43° 29' 39"W
L11	34.80'	S2° 23' 41"E
L12	87.93'	S71° 50' 30"W

CERTIFICATE OF ADMINISTRATOR

I, _____, Administrator of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station.

City Administrator
 City of College Station, Texas

CERTIFICATE OF COUNTY CLERK

 County Clerk
 Brazos County, Texas

CERTIFICATE OF CITY ENGINEER

I, _____, City Engineer of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station, Texas.

City Engineer
 City of College Station, Texas

CERTIFICATE OF THE SURVEYOR

STATE OF TEXAS
 COUNTY OF BRAZOS

I, Michael Konetski, Registered Professional Land Surveyor No. 6531, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that the property markers and monuments were placed under my supervision on the ground.

 R.P.L.S. No. 6531

CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	106.17'	530.00'	011°28'37"	53.26'	105.99'	N89°13'52"E
C2	83.01'	720.00'	006°36'21"	41.55'	82.97'	N86°47'44"E
C3	33.10'	472.50'	004°00'51"	16.56'	33.10'	N66°36'58"E
C4	35.03'	527.50'	003°48'17"	17.52'	35.02'	S66°30'41"W
C5	130.25'	362.50'	020°35'11"	65.83'	129.55'	S37°59'25"E
C6	274.08'	637.50'	024°37'59"	139.19'	271.97'	N35°58'01"W
C7	177.30'	527.50'	019°15'27"	89.49'	176.46'	S13°39'51"E
C8	42.34'	472.50'	005°08'05"	21.19'	42.33'	S20°43'32"E
C9	158.81'	472.50'	019°15'27"	80.16'	158.06'	N13°39'51"W
C10	47.27'	527.50'	005°08'05"	23.65'	47.26'	N20°43'32"W
C11	26.54'	472.50'	003°13'06"	13.27'	26.54'	S70°13'57"W
C12	31.56'	527.50'	003°25'40"	15.78'	31.55'	N70°07'40"E
C13	162.24'	472.50'	019°40'26"	81.93'	161.45'	N38°26'48"W
C14	191.20'	527.50'	020°46'02"	96.66'	190.15'	S37°54'00"E
C15	168.05'	500.00'	019°15'27"	84.83'	167.26'	S13°39'51"E
C16	44.81'	500.00'	005°08'05"	22.42'	44.79'	S20°43'32"E
C17	262.89'	500.00'	030°07'31"	134.56'	259.87'	S33°13'15"E
C18	63.12'	500.00'	007°13'57"	31.60'	63.07'	N68°13'31"E

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
 COUNTY OF BRAZOS

I, College Station Downtown Residential, LLC, owner and developer of the land shown on this plat, and designated herein as the Midtown Reserve Subdivision, Phase 113, to the City of College Station, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, greenways, infrastructure, easements and public places thereon shown for the purpose and consideration therein expressed.

Wallace Phillips III, Manager
 College Station Downtown Residential, LLC

STATE OF TEXAS
 COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Wallace Phillips, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this ____ day of _____, 20____.

 Notary Public, Brazos County, Texas

CERTIFICATE OF CITY ENGINEER

I, _____, City Engineer of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station, Texas.

City Engineer
 City of College Station, Texas

CERTIFICATE OF THE SURVEYOR

STATE OF TEXAS
 COUNTY OF BRAZOS

I, Michael Konetski, Registered Professional Land Surveyor No. 6531, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that the property markers and monuments were placed under my supervision on the ground.

 R.P.L.S. No. 6531

LEGEND

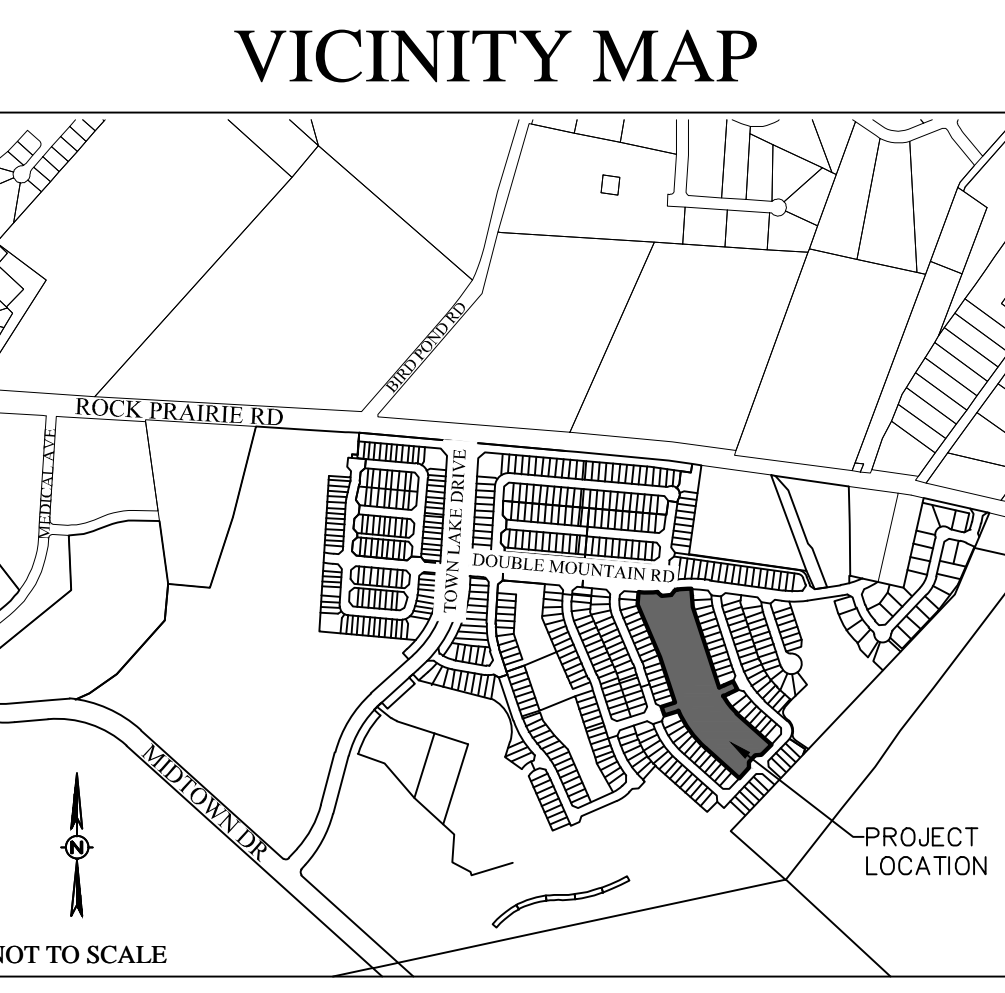
- PROPERTY BOUNDARY
- RIGHT OF WAY
- LOT LINE
- PUBLIC UTILITY EASEMENT (P.U.E.)
- EXISTING PUBLIC UTILITY EASEMENT (P.U.E.)
- EXISTING PRIVATE DRAINAGE EASEMENT (P.D.E.)
- LOT CORNER - 1/2" IRON ROD SET WITH BLUE PLASTIC CAPS STAMPED "KERR SURVEYING" UNLESS OTHERWISE NOTED
- RIGHT OF WAY CENTERLINE
- "X" SET IN CONCRETE
- BLOCK LABEL
- (CM) CONTROLLING MONUMENT FOUND AND USED TO ESTABLISH PROPERTY LINES
- (O) OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS
- (I) RECORDING INFORMATION
- ROW RIGHT-OF-WAY

NOTES:

- COORDINATES AND BEARING SYSTEM SHOWN HEREIN ARE NAD83 (TEXAS STATE PLANE CENTRAL ZONE GRID NORTH) BASED ON THE PUBLISHED COORDINATES OF THE CITY OF COLLEGE STATION CONTROL MONUMENT CS94-130 (Y:10200580.80, X:3569863.02) AND AS ESTABLISHED BY GPS OBSERVATION. DISTANCES SHOWN HEREIN ARE SURFACE DISTANCES. TO DETERMINE GRID DISTANCES MULTIPLY BY A COMBINED SCALE FACTOR OF 0.999898305 (CALCULATED USING GEOID12B).
- NO PORTION OF THIS TRACT IS WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY AND INCORPORATED AREAS, MAP NO. 4804100310P, EFFECTIVE DATE: APRIL 2, 2014.
- 1/2" IRON RODS WITH BLUE PLASTIC CAPS STAMPED "KERR SURVEYING" WILL BE SET AT ALL LOT CORNERS AND ANGLE POINTS UNLESS NOTED OTHERWISE.
- DISTANCES SHOWN ON CURVES ARE CHORD LENGTHS.
- ZONING FOR THIS TRACT IS PLANNED DEVELOPMENT DISTRICT (PDD).
- ALL LOTS WILL MEET SETBACK AND OTHER REQUIREMENTS AS SPECIFIED IN THE PDD ZONING. THE BASE ZONING DISTRICT IS GENERAL SUBURBAN.
- EACH LOT WILL PROVIDE A MINIMUM OF 1 TREE (CANOPY OR NON-CANOPY) REQUIRED IN THE FRONT YARD. THIS IS A MODIFICATION FROM THE GENERAL SUBURBAN REQUIREMENT.
- ALL PUBLIC DRAINAGE EASEMENTS WILL BE IMPROVED ACCORDING TO THE DRAINAGE POLICY AND DESIGN STANDARDS.
- THE PRIVATE DRAINAGE EASEMENTS WILL BE MAINTAINED BY THE HOA, HOMEOWNERS ASSOCIATION. FENCES, GRADING, LANDSCAPING AND STRUCTURES REQUIRING A BUILDING PERMIT CANNOT BE PLACED IN THE PRIVATE DRAINAGE EASEMENT. IT WILL BE THE RESPONSIBILITY OF THE HOMEOWNER/HOMEOWNER TO INSTALL AND MAINTAIN MESH WIRING. THE HOA WILL HAVE THE RIGHT TO ACCESS THE PRIVATE DRAINAGE EASEMENTS TO PERFORM MAINTENANCE AND CLEANING.
- COMMON AREAS WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS' ASSOCIATION (HOA).
- COMPACTION OF FILL OR AN ENGINEERED SLAB IS REQUIRED FOR LOTS THAT HAVE GREATER THAN 2 FEET OF FILL.
- ELECTRIC SERVICE AND STREET LIGHTING FOR THIS SUBDIVISION WILL BE PROVIDED BY COLLEGE STATION UTILITIES.
- THE WATER SUPPLIER FOR THIS DEVELOPMENT IS THE CITY OF COLLEGE STATION. THE WATERLINES WILL BE DESIGNED TO CITY OF COLLEGE STATION SPECIFICATIONS AND STANDARDS AND WILL BE LOCATED IN UTILITY EASEMENTS AT THE FRONT OF THE RESIDENTIAL LOTS. THESE WATERLINES WILL PROVIDE THE REQUIRED FLOW TO FIRE HYDRANTS TO MEET FIRE PROTECTION REQUIREMENTS.
- A WATER DESIGN REPORT FOR THIS SUBDIVISION WILL BE PROVIDED PER CITY STANDARDS.
- SANITARY SEWER SERVICE WILL BE PROVIDED BY THE CITY OF COLLEGE STATION AND SEWER LINES WILL BE LOCATED WITHIN THE RIGHT-OF-WAY.
- MAXIMUM IMPERVIOUS COVER TO BE 65%. THIS MAXIMUM PERCENTAGE IS IN ACCORDANCE WITH THE DRAINAGE REPORT TITLED, "DRAINAGE REPORT FOR MIDTOWN RESERVE SUBDIVISION DETENTION ANALYSIS FOR GOEN TRACT ADDITION COLLEGE STATION, TEXAS", DATED MARCH 2022 PREPARED BY SCHULTZ ENGINEERING.
- LOT 32, BLOCK 9 AND LOT 1, BLOCK 10, CANNOT TAKE ACCESS FROM DOUBLE MOUNTAIN ROAD.
- NO LOT IS UNDER 4,400 SF.

PHASE	BLOCK	LOT	AREA (SF)
113	9	18	4,913
113	9	19	4,400
113	9	20	4,400
113	9	21	4,400
113	9	22	4,400
113	9	23	4,400
113	9	24	4,744
113	9	25	4,520
113	9	26	4,400
113	9	27	4,659
113	9	28	4,771
113	9	29	4,963
113	9	30	5,344
113	9	31	8,203
113	9	32	8,385
113	10	1	5,168
113	10	2	5,037
113	10	3	5,159
113	10	4	5,220
113	10	5	5,132
113	10	6	4,776
113	10	7	4,632
113	10	8	4,891
113	10	9	4,405
113	10	10	4,400
113	10	11	4,400

PHASE	BLOCK	LOT	AREA (SF)
113	10	12	4,400
113	10	13	4,400
113	10	14	4,400
113	10	15	4,906
113	12	1	5,539
113	12	2	4,740
113	12	3	4,740
113	12	4	4,550
113	12	5	4,400
113	12	6	4,400
113	12	7	4,400
113	12	8	4,400
113	12	9	4,400
113	12	10	5,290
113	16	14	4,880
113	16	15	4,400
113	16	16	4,400
113	16	17	4,400
113	16	18	4,400
113	16	19	4,400
113	16	20	4,554
113	16	21	4,713
113	16	22	4,723
113	16	23	4,723
113	16	24	4,713
113	16	25	5,537



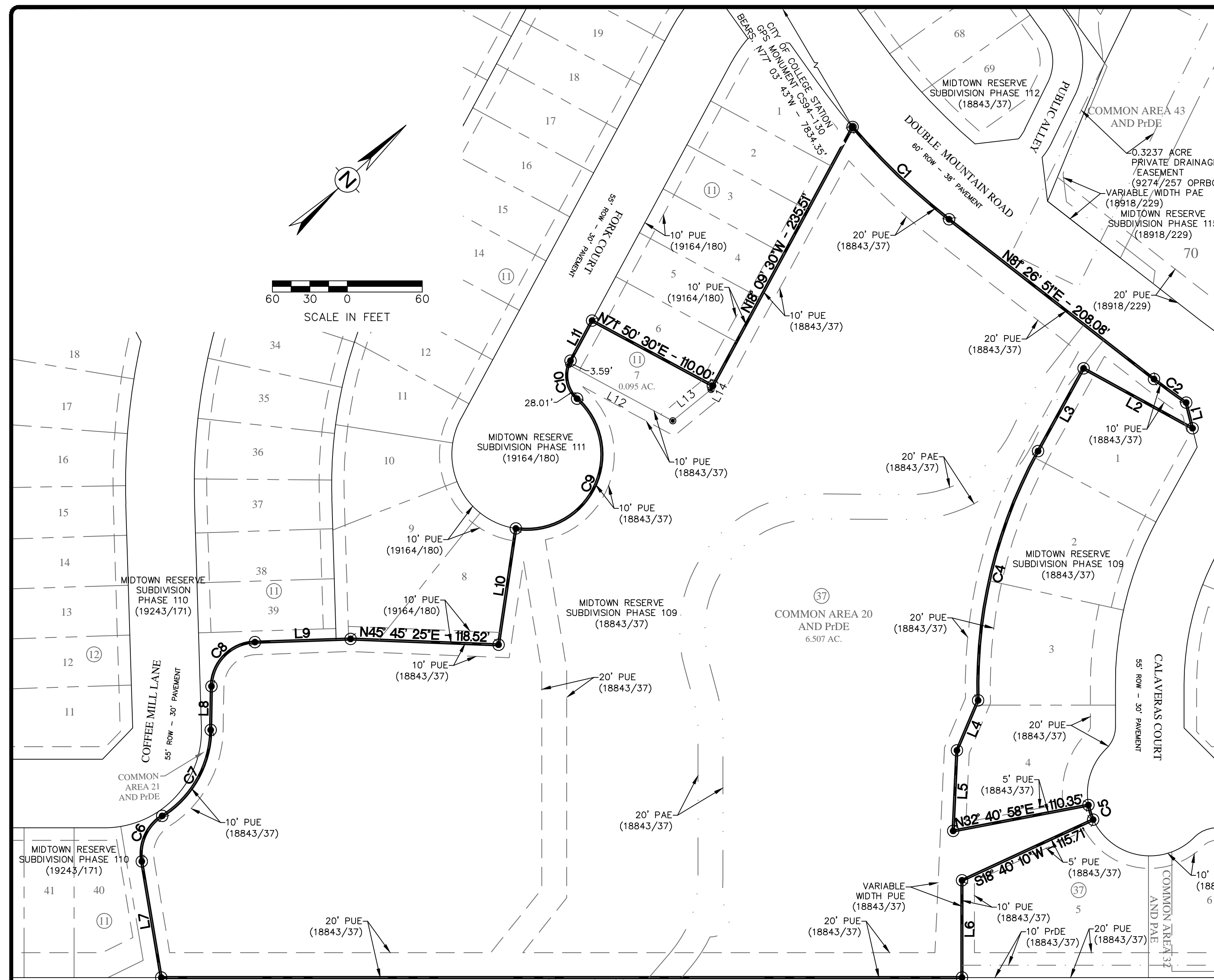
FINAL PLAT
MIDTOWN RESERVE SUBDIVISION
PHASE 113
 7.710 ACRES
 52 LOTS
 BLOCK 9, LOTS 18-32,
 BLOCK 10, LOTS 1-15,
 BLOCK 12, LOTS 1-10,
 BLOCK 16, LOTS 14-25,
 BEING A PORTION OF THE REMAINDER OF A
 CALLED 111.679 ACRE TRACT VOLUME 14405, PAGE 186, OPRBC AND
 A PORTION OF CALLED 33.342 ACRE TRACT VOLUME 16558, PAGE 80, OPRBC
 THOMAS CARUTHERS LEAGUE SURVEY, A-9
 COLLEGE STATION, BRAZOS COUNTY, TEXAS

SCALE 1" = 50'
 AUGUST 2024

SURVEYOR:
 Michael Konetski, RPLS No. 6531
 Kerr Surveying, LLC
 1718 Brazeaux Dr.
 Bryan, TX 77802
 (979) 268-3195
 TBPELS FIRM # 10018500
 KERR JOB 24-704

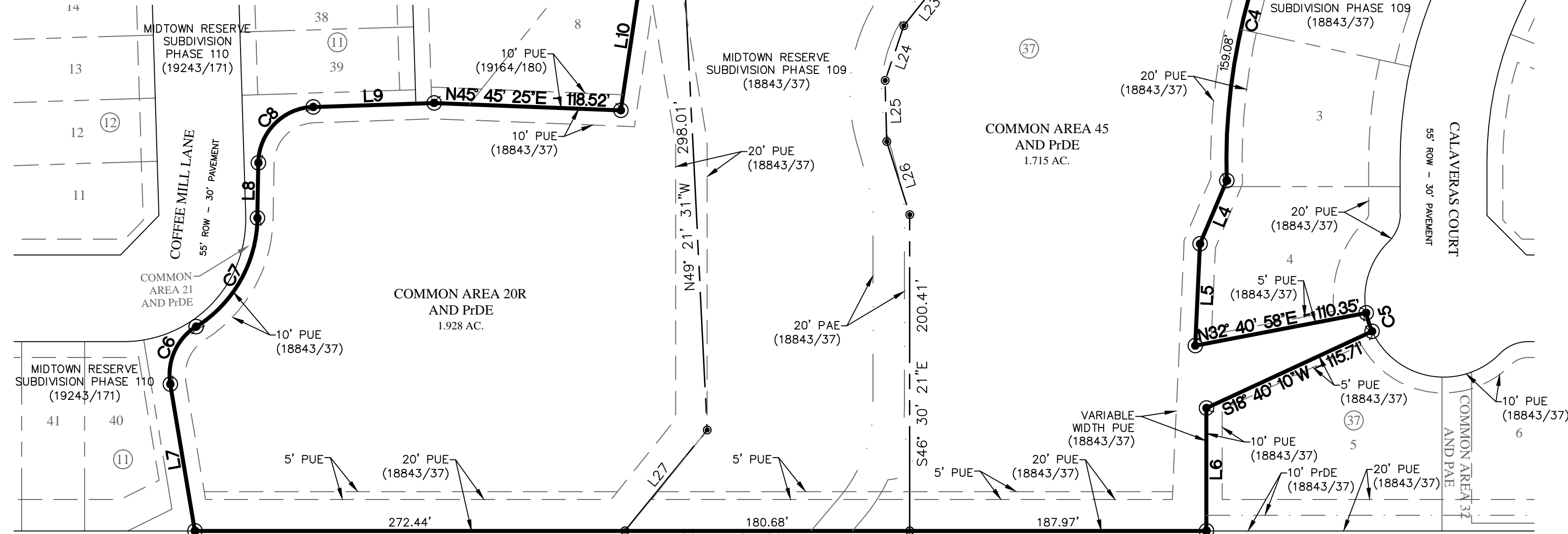
OWNER/DEVELOPER:
 College Station Downtown Residential, LLC
 1140 Midtown Drive
 College Station, TX 77845
 (979) 690-7250

ENGINEER:
 SCHULTZ ENGINEERING
 TBPEN No. 12327
 911 SOUTHWEST PKWY E.
 College Station, Texas 77840
 (979) 764-3900



LINE TABLE			LINE TABLE		
LINE #	LENGTH	DIRECTION	LINE #	LENGTH	DIRECTION
L1	21.24'	S60° 30' 33"E	L17	23.88'	N58° 04' 08"E
L2	99.51'	S72° 19' 40"W	L18	28.11'	S15° 32' 54"E
L3	75.60'	S17° 40' 20"E	L19	61.93'	S30° 30' 04"W
L4	43.47'	S23° 28' 18"E	L20	67.94'	S43° 45' 07"W
L5	64.60'	S43° 51' 02"E	L21	49.96'	S40° 20' 10"W
L6	77.93'	S46° 30' 21"E	L22	33.47'	S20° 55' 47"W
L7	94.33'	N56° 00' 30"W	L23	37.45'	S8° 07' 02"E
L8	35.04'	N45° 30' 35"W	L24	36.58'	S27° 30' 11"E
L9	76.61'	N41° 34' 43"E	L25	38.75'	S48° 09' 35"E
L10	94.19'	N38° 00' 44"W	L26	48.54'	S63° 57' 23"E
L11	36.42'	N18° 09' 30"W	L27	82.58'	N7° 13' 37"W
L12	94.74'	N71° 50' 30"E			
L15	66.28'	N13° 00' 26"E			
L16	69.74'	N32° 15' 01"E			

Curve Table						
CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	107.08'	530.00'	011°34'35"	53.72'	106.90'	N87°14'08"E
C2	31.84'	530.00'	003°26'33"	15.93'	31.84'	N79°43'34"E
C4	207.88'	390.33'	030°30'50"	106.47'	205.43'	S32°58'54"E
C5	12.23'	50.00'	014°00'48"	6.15'	12.20'	S64°19'26"E
C6	42.33'	36.00'	067°22'05"	23.99'	39.93'	N22°19'28"W
C7	82.38'	83.00'	056°52'09"	44.94'	79.04'	N17°04'31"W
CB	54.72'	36.00'	087°05'18"	34.22'	49.60'	N01°57'56"W
C9	153.45'	60.00'	146°32'14"	199.59'	114.92'	N21°16'51"W
C10	33.33'	25.00'	076°23'28"	19.67'	30.92'	N56°21'14"W



- NOTES:**
- COORDINATES AND BEARING SYSTEM SHOWN HEREIN ARE NAD83 (TEXAS STATE PLANE CENTRAL ZONE GRID NORTH) BASED ON THE PUBLISHED COORDINATES OF THE CITY OF COLLEGE STATION CONTROL MONUMENT CS94-130 (N:10200590.80, E:3569863.02) AND AS ESTABLISHED BY GPS OBSERVATION. DISTANCES SHOWN HEREIN ARE SURFACE DISTANCES. TO DETERMINE GRID DISTANCES MULTIPLY BY A COMBINED SCALE FACTOR OF 0.999989305 (CALCULATED USING GEOID12B).
 - NO PORTION OF THIS TRACT IS WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY AND INCORPORATED AREAS, MAP NO. 4804100310F, EFFECTIVE DATE: APRIL 2, 2014.
 - 1/2" IRON ROD WITH CAP STAMPED "KERR SURVEYING" AT ALL LOT CORNERS AND ANGLE POINTS UNLESS OTHERWISE NOTED.
 - DISTANCES SHOWN ON CURVES ARE CHORD LENGTHS.
 - ZONING FOR THIS TRACT IS PLANNED DEVELOPMENT DISTRICT (PDD).
 - ALL LOTS WILL MEET SETBACK AND OTHER REQUIREMENTS AS SPECIFIED IN THE PDD ZONING. THE BASE ZONING DISTRICT IS GENERAL SUBURBAN.
 - STORM WATER DETENTION FACILITIES FOR THIS PHASE ARE LOCATED OFF SITE AND ARE TO BE MAINTAINED BY THE HOA.
 - COMPACTION OF FILL OR AN ENGINEERED SLAB IS REQUIRED FOR LOTS THAT HAVE GREATER THAN 2 FEET OF FILL.
 - MAXIMUM IMPERVIOUS COVER TO BE 65%. THIS MAXIMUM PERCENTAGE IS IN ACCORDANCE WITH THE DRAINAGE REPORT TITLED, "DETENTION ANALYSIS FOR COLLEGE STATION TOWN CENTER", DATED NOVEMBER 2017 PREPARED BY EHRA INC. AND AS MODIFIED IN MARCH 2018.
 - EACH LOT WILL PROVIDE A MINIMUM OF 1 TREE IN THE FRONT YARD PER THE PDD ZONING.
 - DRIVEWAY ACCESS FOR LOT 45, BLOCK 11 SHALL BE FROM DOUBLE MOUNTAIN ROAD. THE DRIVEWAY SHALL BE LOCATED TO LINE UP WITH THE ALLEY LOCATED ACROSS DOUBLE MOUNTAIN ROAD. THE DRIVEWAY SHALL BE DESIGNED TO PROHIBIT BACKING MANEUVERS INTO DOUBLE MOUNTAIN ROAD. THE LOT WIDTH IS 145.45 FEET. THIS PLAT REQUESTS A RECOMMENDATION FROM THE ADMINISTRATOR AND APPROVAL OF THE PLANNING AND ZONING COMMISSION FOR THIS DRIVEWAY.

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF BRAZOS

I, College Station Downtown Residential, LLC, owner and developer of the land shown on this plat, and designated herein as the Midtown Reserve Subdivision Phase 111, to the City of College Station, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, greenways, infrastructure, easements and public places thereon shown for the purpose and consideration therein expressed. All such dedications shall be in fee simple unless expressly provided otherwise.

College Station Downtown Residential, LLC
by Greens Prairie Investors, Ltd., its Manager
by Greens Prairie Associates, LLC, its General Partner
by Wallace Phillips, its Manager

STATE OF TEXAS
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Wallace Phillips III, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this ____ day of _____, 20____.

Notary Public, Brazos County, Texas

CERTIFICATE OF THE SURVEYOR

STATE OF TEXAS
COUNTY OF BRAZOS

I, Nathan Paul Kerr, Registered Professional Land Surveyor No. 6834, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that the property markers and monuments were placed under my supervision on the _____, R.P.L.S. No. 6834

CERTIFICATE OF COUNTY CLERK

County Clerk
Brazos County, Texas

CERTIFICATE OF ADMINISTRATOR

I, _____ Administrator of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station.

Administrator
City of College Station, Texas

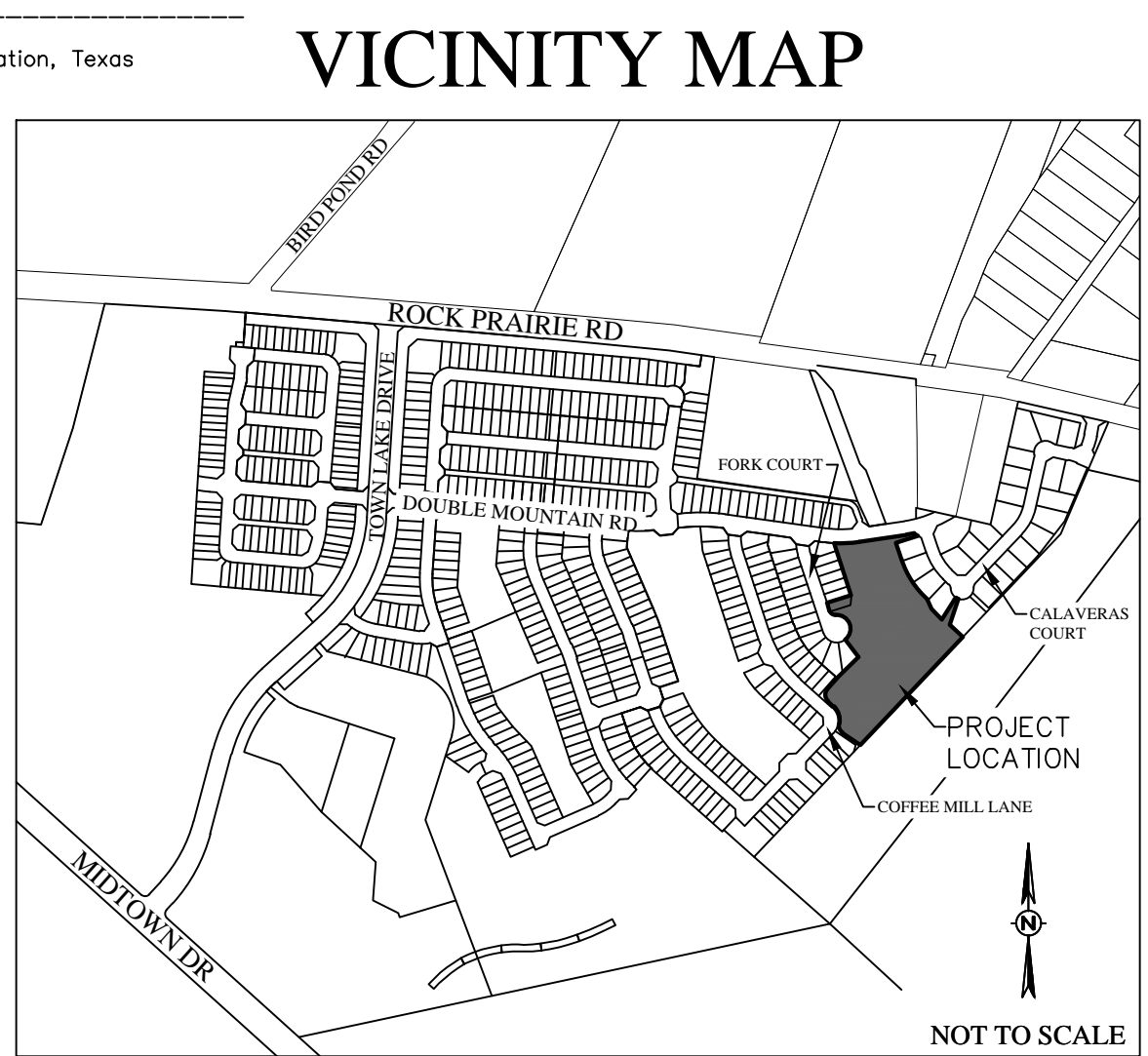
CERTIFICATE OF CITY ENGINEER

I, _____ City Engineer of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station, Texas.

City Engineer
City of College Station, Texas

LEGEND

- PROPERTY BOUNDARY
- RIGHT OF WAY
- LOT LINE
- PUBLIC UTILITY EASEMENT (P.U.E.)
- EXISTING PUBLIC UTILITY EASEMENT (P.U.E.)
- EXISTING PUBLIC DRAINAGE EASEMENT (P.D.E.)
- EXISTING PRIVATE DRAINAGE EASEMENT (P.P.D.E.)
- EXISTING PUBLIC ACCESS EASEMENT (P.A.E.)
- LOT CORNER - 1/2" IRON ROD SET WITH BLUE PLASTIC CAPS STAMPED "KERR SURVEYING"
- BLOCK LABEL
- CONTROLLING MONUMENT FOUND AND USED TO ESTABLISH PROPERTY LINES
- OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS
- RECORDING INFORMATION
- RIGHT-OF-WAY



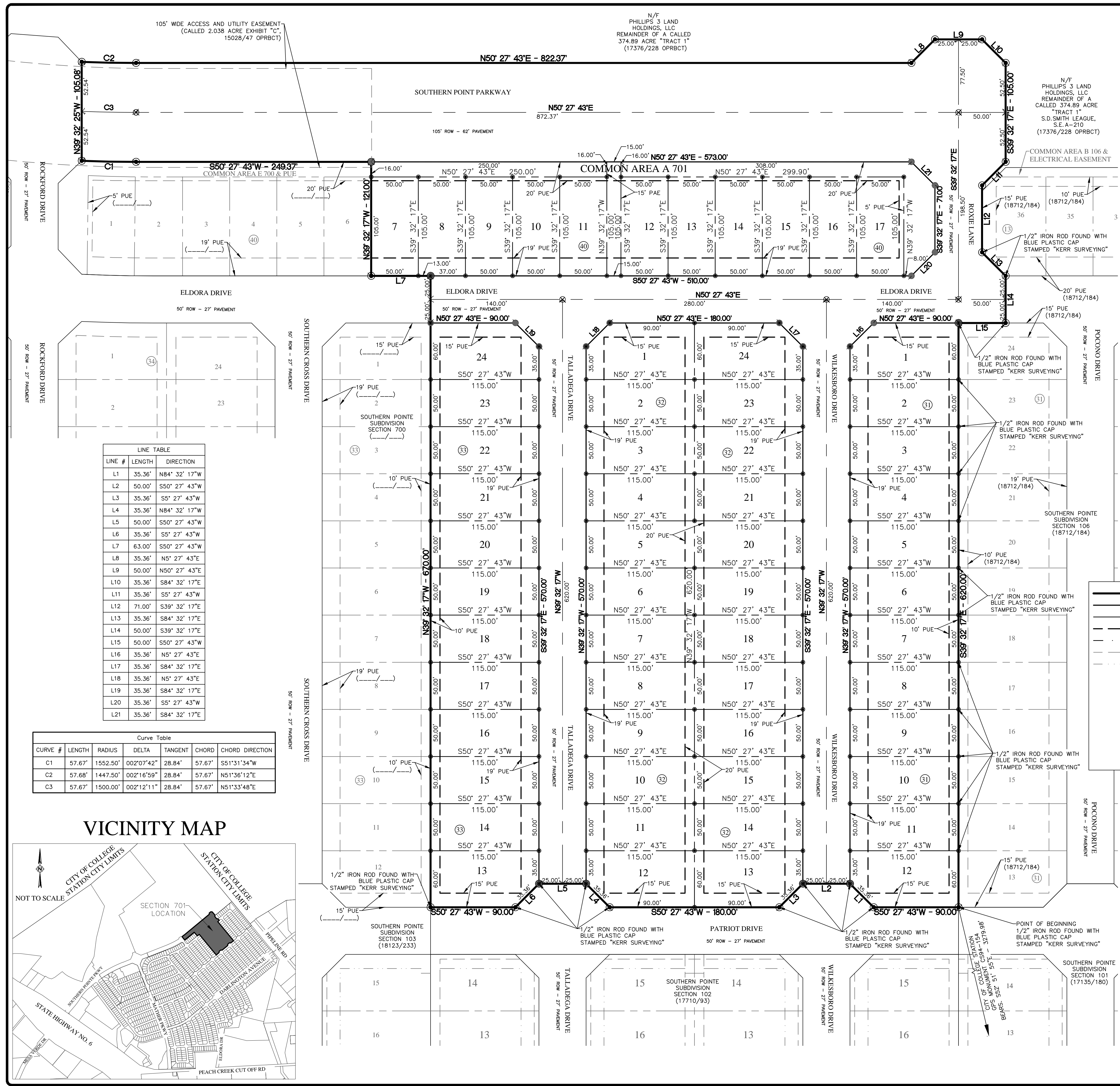
FINAL PLAT
OF
MIDTOWN RESERVE SUBDIVISION
6.601 ACRES
PHASE 109
BLOCK 11, LOT 45
BLOCK 37, COMMON AREAS 20R, 44 & 45,
PARKLAND DD
& PHASE 111
BLOCK 11, LOT 7R
BEING A
REPLAT
OF
MIDTOWN RESERVE SUBDIVISION PHASE 109
BLOCK 37, COMMON AREA 20
VOLUME 18843, PAGE 37
&
MIDTOWN RESERVE SUBDIVISION PHASE 109
BLOCK 11, LOT 7
VOLUME 19164, PAGE 180
THOMAS CARUTHERS LEAGUE SURVEY, A-9
COLLEGE STATION, BRAZOS COUNTY, TEXAS

SCALE 1" = 60'
AUGUST, 2024

OWNER/DEVELOPER: College Station Downtown Residential LLC
1140 Midtown Drive
College Station, TX 77845
(979) 690-7250

SURVEYOR: Kerr Surveying, LLC
1718 Briarcrest Dr.
Boyan, TX 77902
(979) 268-3195
TBPELS FIRM # 10018500
SURVEYS@KERRSURVEYING.NET

ENGINEER: SCHULTZ
TBPE FIRM NO. 12327
911 SOUTHWEST PKWY E.
College Station, Texas 77840
(979) 764-3900



- NOTES:**
- THE PROPOSED DEVELOPMENT IS LOCATED IN THE CITY OF COLLEGE STATION (ETJ). THIS DEVELOPMENT IS BEING REVIEWED AS AN "M CITY" DEVELOPMENT PER LETTER REQUEST BY THE DEVELOPER TO THE CITY.
 - BEARING SYSTEM SHOWN HEREON IS BASED ON THE TEXAS STATE PLANE CENTRAL ZONE GRID NORTH (NAD 83) AS ESTABLISHED FROM GPS OBSERVATION.
 - DISTANCES SHOWN HEREON ARE SURFACE DISTANCES. TO DETERMINE GRID DISTANCES MULTIPLY BY A COMBINED SCALE FACTOR OF 0.9999059410912.
 - NO PORTION OF THIS TRACT IS WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY AND INCORPORATED AREAS, MAP NO. 48041C0350E, EFFECTIVE DATE: MAY 16, 2012.
 - 1/2" IRON RODS WITH BLUE PLASTIC CAP STAMPED "KERR SURVEYING" WILL BE SET AT ALL LOT CORNERS AND ANGLE POINTS UNLESS NOTED OTHERWISE.
 - DISTANCES SHOWN ON CURVES ARE CHORD LENGTHS.
 - PROPOSED USES ARE COMMERCIAL, INSTITUTIONAL, MULTI-FAMILY, SINGLE-FAMILY, AND OPEN SPACE IN COMPLIANCE WITH THE SIGNED DEVELOPMENT AGREEMENT BETWEEN THE CITY OF COLLEGE STATION AND MCALISTER OPPORTUNITY FUND 2012, L.P., DATED MARCH 12, 2015 RECORDED IN VOLUME 12656, PAGE 190 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY (AMENDED NOVEMBER 10, 2016).
 - THE DEVELOPMENT AGREEMENT BETWEEN THE CITY AND THE DEVELOPER HAS ESTABLISHED AN EFFECTIVE DATE OF MARCH 12, 2015 BASED ON ARTICLE II OF THE DEVELOPMENT AGREEMENT (DA). THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE UNIFIED DEVELOPMENT ORDINANCE OF THE CITY OF COLLEGE STATION AS OF THE "EFFECTIVE" DATE OF THE DA. THEREFORE, THE EFFECTIVE UDO IS THE FEBRUARY 10, 2015, SUPPLEMENT 4 (EFFECTIVE UDO).
 - PER THE EXECUTED UTILITY AGREEMENT BETWEEN THE CITY OF COLLEGE STATION AND BRAZOS COUNTY MUNICIPAL UTILITY DISTRICT NO. 1, EXECUTED AUGUST 21, 2015 AND AMENDED NOVEMBER 10, 2016, WATER AND WASTE WATER SERVICE ARE TO BE PROVIDED BY CITY OF COLLEGE STATION.
 - PER THE EXECUTED UTILITY AGREEMENT BETWEEN THE CITY OF COLLEGE STATION AND BRAZOS COUNTY MUNICIPAL UTILITY DISTRICT NO. 1, EXECUTED AUGUST 21, 2015 AND AMENDED NOVEMBER 10, 2016, THE CITY OF COLLEGE STATION WILL, UPON ACCEPTANCE, OWN AND OPERATE ALL PUBLIC WATER AND PUBLIC SANITARY SEWER FACILITIES IN BRAZOS COUNTY MUNICIPAL UTILITY DISTRICT NO. 1.
 - A WATER DESIGN REPORT FOR THIS SUBDIVISION WILL BE PROVIDED PER CITY STANDARDS.
 - WATER, SEWER, DRAINAGE, AND STREETS WILL BE DESIGNED AND CONSTRUCTED TO THE 2012 EDITION OF THE B/C/S UNIFIED DEVELOPMENT GUIDELINES, STANDARDS, AND SPECIFICATIONS.
 - PER THE EXECUTED DEVELOPMENT AGREEMENT (DA) BETWEEN THE CITY OF COLLEGE STATION AND MCALISTER OPPORTUNITY FUND 2012, L.P. - EFFECTIVE MARCH 12, 2015, AS AMENDED, STREETS WILL BE CONSTRUCTED BASED ON THE THOROUGHFARE ROAD STANDARDS AS OF THE DATE OF THE AGREEMENT.
 - STORM SEWER SYSTEM, INCLUDING DRAINAGE CHANNELS, UNDERGROUND STORMWATER CONVEYANCE SYSTEMS, AND DETENTION PONDS WILL BE MAINTAINED BY BRAZOS COUNTY MUD NO. 1 UNTIL ANNEXTION BY THE CITY OF COLLEGE STATION. UPON ANNEXTION, THE MAINTENANCE OF THE DETENTION PONDS WILL BE THE RESPONSIBILITY OF THE HOA UNLESS THE CITY REQUESTS A CONTINUATION OF THE MUD TAXING AUTHORITY FOR THE PURPOSE OF DETENTION POND MAINTENANCE AS SET FORTH IN THE DA.
 - THE OPERATION AND MAINTENANCE OF THE LOCAL STREETS IS BASED ON AN EXECUTED INTER-LOCAL AGREEMENT BETWEEN BRAZOS COUNTY AND BRAZOS COUNTY MUNICIPAL UTILITY DISTRICT NO. 1.
 - THE OPERATION AND MAINTENANCE OF THE MAJOR STREETS IS BASED ON AN EXECUTED INTER-LOCAL AGREEMENT BETWEEN BRAZOS COUNTY AND BRAZOS COUNTY MUNICIPAL UTILITY DISTRICT NO. 1.
 - SIDEWALK MAINTENANCE IS THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
 - COMMON AREAS AND PARKLAND WILL BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION. UPON ANNEXTION, THE PARKLAND OWNERSHIP AND MAINTENANCE WILL BE TRANSFERRED TO THE CITY. THE REMAINING COMMON AREAS WILL CONTINUE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
 - ELECTRICAL SERVICE FOR THIS DEVELOPMENT IS PROVIDED BY ENTERGY.
 - HOMEOWNERS ASSOCIATION EASEMENT ACTIVITIES AND/OR INFRASTRUCTURE WILL BE REFERENCED IN THE COVENANTS, CONDITIONS, AND RESTRICTIONS OF THE SUBDIVISION.
 - IN APPROVING THIS PLAT BY THE COMMISSIONER'S COURT OF BRAZOS COUNTY, TEXAS, IT IS UNDERSTOOD THAT THE BUILDING OF ALL ROADS, AND OTHER PUBLIC THOROUGHFARES AND ANY BRIDGES OR CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IS THE RESPONSIBILITY OF THE OWNER(S) OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONER'S COURT OF BRAZOS COUNTY, TEXAS. SAID COMMISSIONER'S COURT ASSUMES NO OBLIGATION TO BUILD ANY OF THE ROADS, OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT, OR OF CONSTRUCTING ANY OF THE BRIDGES OR DRAINAGE IMPROVEMENTS IN CONNECTION THEREWITH. THE COUNTY WILL ASSUME NO RESPONSIBILITY FOR DRAINAGE WAYS OR EASEMENTS IN THE SUBDIVISION, OTHER THAN THOSE DRAINING OR PROTECTING THE ROAD SYSTEM.
 - IT IS THE RESPONSIBILITY OF THE OWNER, NOT THE COUNTY, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE STATE, FEDERAL AND LOCAL LAWS AND REGULATIONS RELATING TO THE PLATTING AND DEVELOPMENT OF THIS PROPERTY. THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF REPRESENTATIONS BY THE OTHER PARTIES IN THIS PLAT. FLOODPLAIN DATA, IN PARTICULAR, MAY CHANGE. IT IS FURTHER UNDERSTOOD THAT THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT MUST INSTALL AT THEIR OWN EXPENSE ALL TRAFFIC CONTROL DEVICES AND SIGNAGE THAT MAY BE REQUIRED BEFORE THE ROADS IN THE SUBDIVISION HAVE FINALLY BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY.
 - ALL PUBLIC DRAINAGE EASEMENTS WILL BE IMPROVED ACCORDING TO THE DRAINAGE POLICY AND DESIGN STANDARDS.
 - THE PRIVATE DRAINAGE EASEMENTS WILL BE MAINTAINED BY THE LOT OWNERS OR THE HOA, HOMEOWNERS ASSOCIATION. FENCES, GRADING AND LANDSCAPING CANNOT IMPED THE FLOW IN THE PRIVATE DRAINAGE EASEMENT.
 - STORM WATER DETENTION FACILITIES FOR THIS PHASE ARE LOCATED OFF SITE AND ARE TO BE MAINTAINED BY THE HOA.
 - COMPACTION OF FILL OR AN ENGINEERED SLAB IS REQUIRED FOR LOTS THAT HAVE GREATER THAN 2 FEET OF FILL.
 - THE SUBJECT TRACT LIES WITHIN THE EXTRA-TERRITORIAL JURISDICTION (ETJ) OF THE CITY OF COLLEGE STATION.
 - EASEMENTS AND BUILDING SETBACK LINES PER DEVELOPMENT AGREEMENT, 12656/190 (O.P.R.B.C.T.). THE SETBACK LINES ARE AS FOLLOWS:
FRONT - 5'
SIDE - 5'
REAR - 20'
SIDE STREET - 15'
 - MAXIMUM IMPERVIOUS COVER TO BE 65%. THIS MAXIMUM PERCENTAGE IS IN ACCORDANCE WITH THE DRAINAGE REPORT TITLED, "DRAINAGE REPORT FOR SOUTHERN POINTE SUBDIVISION - DETENTION PONDS H & I BRAZOS COUNTY MUNICIPAL UTILITY DISTRICT NO. 1", DATED APRIL 24, 2014 PREPARED BY SCHULTZ ENGINEERING, LLC.

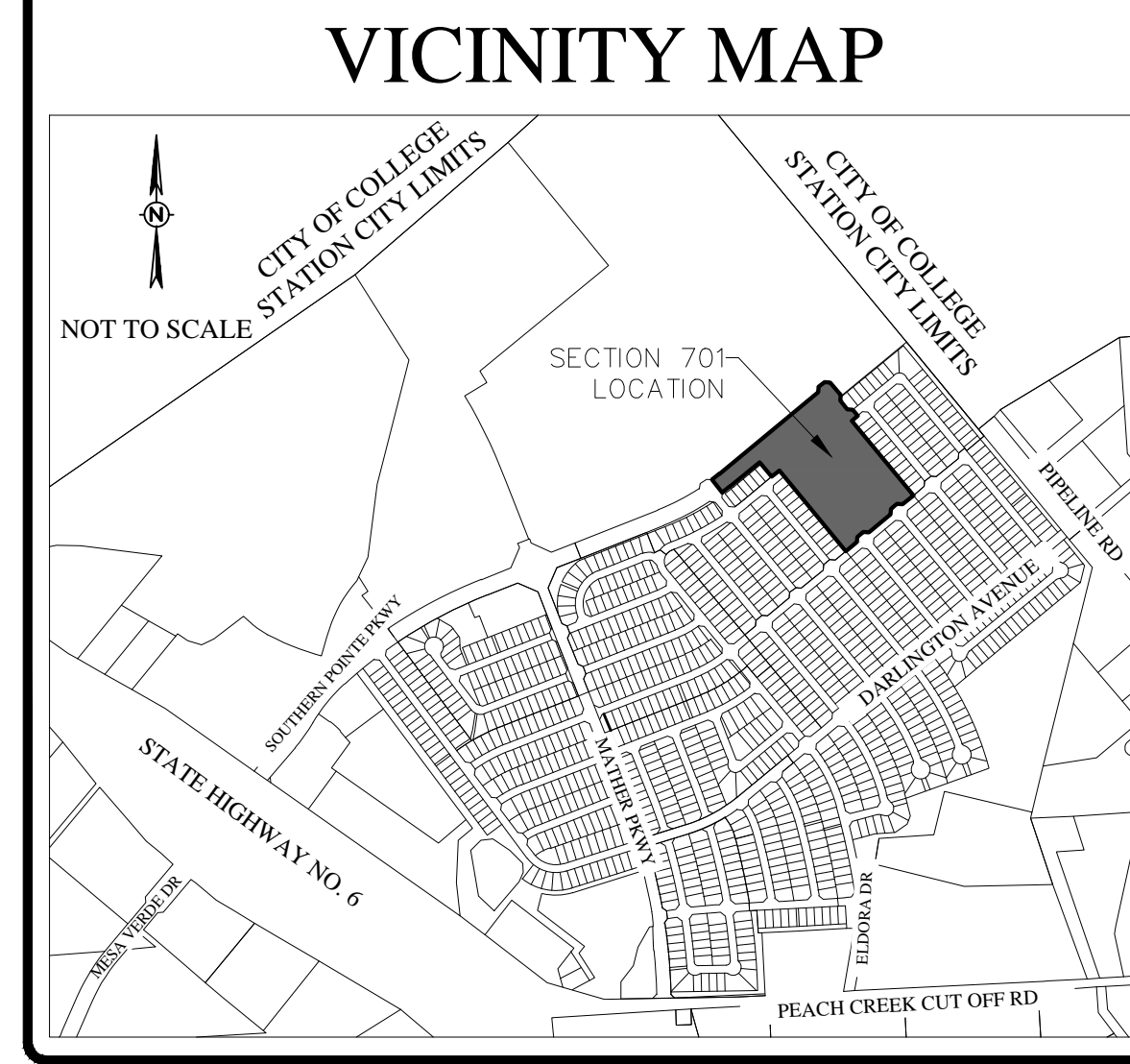
- LEGEND**
- PROPERTY BOUNDARY
 - RIGHT OF WAY
 - LOT LINE
 - PROPOSED PUBLIC UTILITY EASEMENT (PUE)
 - PROPOSED PUBLIC ACCESS EASEMENT (PAE)
 - EXISTING PUBLIC UTILITY EASEMENT (PUE)
 - EXISTING ELECTRICAL EASEMENT (EE)
 - LOT CORNER - 1/2" IRON ROD SET WITH BLUE PLASTIC CAPS STAMPED "KERR SURVEYING"
 - RIGHT OF WAY CENTERLINE
 - "X" SET IN CONCRETE
 - BLOCK LABEL
 - CONTROLLING MONUMENT FOUND AND USED TO ESTABLISH PROPERTY LINES
 - OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS
 - RECORD INFORMATION
 - ROW
 - RIGHT-OF-WAY

LINE TABLE

LINE #	LENGTH	DIRECTION
L1	35.36'	N84° 32' 17"W
L2	50.00'	S50° 27' 43"W
L3	35.36'	S5° 27' 43"W
L4	35.36'	N84° 32' 17"W
L5	50.00'	S50° 27' 43"W
L6	35.36'	S5° 27' 43"W
L7	63.00'	S50° 27' 43"W
L8	35.36'	N5° 27' 43"E
L9	50.00'	N50° 27' 43"E
L10	35.36'	S84° 32' 17"E
L11	35.36'	S5° 27' 43"W
L12	71.00'	S39° 32' 17"E
L13	35.36'	S84° 32' 17"E
L14	50.00'	S39° 32' 17"E
L15	50.00'	S50° 27' 43"W
L16	35.36'	N5° 27' 43"E
L17	35.36'	S84° 32' 17"E
L18	35.36'	N5° 27' 43"E
L19	35.36'	S84° 32' 17"E
L20	35.36'	S5° 27' 43"W
L21	35.36'	S84° 32' 17"E

Curve Table

CURVE #	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIRECTION
C1	57.67'	1552.50'	002°07'42"	28.84'	57.67'	S51°31'34"W
C2	57.68'	1447.50'	002°16'59"	28.84'	57.67'	N51°36'12"E
C3	57.67'	1500.00'	002°12'11"	28.84'	57.67'	N51°33'48"E



FINAL PLAT
SOUTHERN POINTE
SUBDIVISION
SECTION 701
 12.804 ACRES
 59 LOTS
 BLOCK 31, LOTS 1-12
 BLOCK 32, LOTS 1-24
 BLOCK 33, LOTS 13-24
 BLOCK 40, LOTS 7-17
 COMMON AREA A 701 - 0.321 ACRES
 BEING A PORTION OF THE REMAINDER
 OF A CALLED 374.89 ACRE ("TRACT 1")
 VOLUME 17376, PAGE 228 OPRBCT
 STERRETT D. SMITH LEAGUE SURVEY, A-210
 BRAZOS COUNTY, TEXAS

SCALE 1" = 50'
 AUGUST, 2024

DEVELOPER:
 BV Southern Pointe Development, INC.
 1140 Midtown Drive
 College Station, TX 77845

OWNER:
 Phillips 3 Land Holdings, LLC
 1140 Midtown Drive
 College Station, TX 77845

ENGINEER:
 Michael Konetcki, RPLS No. 6531
 Kerr Surveying, LLC
 1718 Briarcrest Drive
 Bryan, TX 77802
 (979) 268-3195
 TBPELS FIRM # 10018500
 KERR JOB 24-62

ENGINEER:
 TPBE NO. 12327
 911 SOUTHWEST PKWY E.
 College Station, Texas 77840
 (979) 764-9800

SHEET 1 OF 2

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS
COUNTY OF BRAZOS

We, Phillips 3 Land Holdings, LLC, owners and developers of the land shown on this plat, and designated herein as the Southern Pointe Subdivision, Section 701, in Brazos County, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, greenways, infrastructure, easements, and public places thereon shown for the purpose and consideration therein expressed.

PHILLIPS 3 LAND HOLDINGS, LLC, a Texas limited liability company

By: Its Managing Member
GREENS PRAIRIE INVESTORS, LTD., a Texas limited partnership

By: Its General Partner
GREENS PRAIRIE ASSOCIATES, LLC, a Texas limited liability company

By: _____
Wallace Phillips, Manager and Governing Person

By: _____
Dawn Phillips, Governing Person

By: Its Managing Member
CASCADE POINTE, LP, a Texas limited partnership

By: Its General Partner
CASCADE POINTE GP, LLC, a Texas limited liability company

By: _____
Wallace S Phillips III, Manager

By: _____
Dawn Phillips, Manager

STATE OF TEXAS
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Wallace Phillips, Manager and Governing Person of Greens Prairie Associates, LLC, General Partner of Greens Prairie Investors, Ltd., Managing Member of Phillips 3 Land Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this ____ day of _____, 20____

Notary Public, Brazos County, Texas

STATE OF TEXAS
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Dawn Phillips, Governing Person of Greens Prairie Associates, LLC, General Partner of Greens Prairie Investors, Ltd., Managing Member of Phillips 3 Land Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this ____ day of _____, 20____

Notary Public, Brazos County, Texas

STATE OF TEXAS
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Wallace S. Phillips III, Manager of Cascade Pointe GP, LLC, General Partner of Cascade Pointe LP, Managing Member of Greens Prairie Associates, LLC, General Partner of Greens Prairie Investors, Ltd., Managing Member of Phillips 3 Land Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this ____ day of _____, 20____

Notary Public, Brazos County, Texas

STATE OF TEXAS
COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared Dawn Phillips, Manager of Cascade Pointe GP, LLC, General Partner of Cascade Pointe LP, Managing Member of Greens Prairie Associates, LLC, General Partner of Greens Prairie Investors, Ltd., Managing Member of Phillips 3 Land Holdings, LLC, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that she executed the same for the purpose and consideration therein stated.

Given under my hand and seal on this ____ day of _____, 20____

Notary Public, Brazos County, Texas

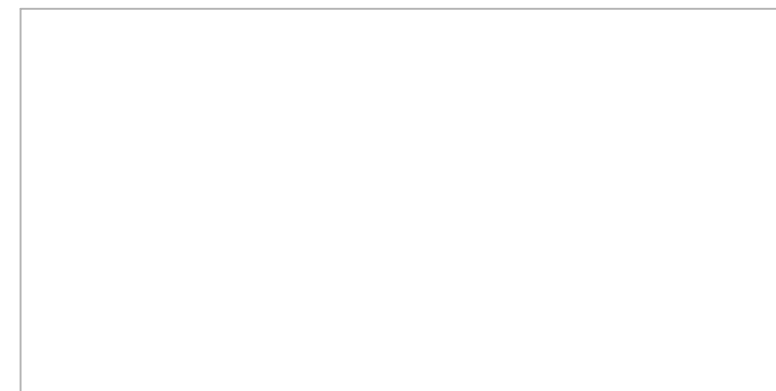
CERTIFICATE OF THE SURVEYOR

STATE OF TEXAS
COUNTY OF BRAZOS

I, Michael Konetski, Registered Professional Land Surveyor No. 6531, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that the property markers and monuments were placed under my supervision on the ground.

_____, R.P.L.S. No. 6531

CERTIFICATE OF COUNTY CLERK



County Clerk
Brazos County, Texas

CERTIFICATE OF ADMINISTRATOR

I, _____, Administrator of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station.

City Administrator
City of College Station, Texas

CERTIFICATE OF CITY ENGINEER

I, _____, City Engineer of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station.

City Engineer
City of College Station

CERTIFICATE OF COUNTY JUDGE

This subdivision was duly approved by the Commissioners Court of Brazos County, Texas, as the Final Plat of such subdivision on ____ day of _____, 20____

Signed this the day of _____, 20____

County Judge, Brazos County, Texas

PHASE	BLOCK	LOT	AREA (SF)
701	31	1	6,588
701	31	2	5,750
701	31	3	5,750
701	31	4	5,750
701	31	5	5,750
701	31	6	5,750
701	31	7	5,750
701	31	8	5,750
701	31	9	5,750
701	31	10	5,750
701	31	11	5,750
701	31	12	6,587
701	32	1	6,588
701	32	2	5,750
701	32	3	5,750
701	32	4	5,750
701	32	5	5,750
701	32	6	5,750
701	32	7	5,750
701	32	8	5,750
701	32	9	5,750
701	32	10	5,750
701	32	11	5,750
701	32	12	6,587
701	32	13	6,587
701	32	14	5,750
701	32	15	5,750
701	32	16	5,750
701	32	17	5,750
701	32	18	5,750
701	32	19	5,750
701	32	20	5,750
701	32	21	5,750
701	32	22	5,750
701	32	23	5,750
701	32	24	6,588
701	33	13	6,587
701	33	14	5,750
701	33	15	5,750
701	33	16	5,750
701	33	17	5,750
701	33	18	5,750
701	33	19	5,750
701	33	20	5,750
701	33	21	5,750
701	33	22	5,750
701	33	23	5,750
701	33	24	6,588
701	40	7	5,250
701	40	8	5,250
701	40	9	5,250
701	40	10	5,250
701	40	11	5,250
701	40	12	5,250
701	40	13	5,250
701	40	14	5,250
701	40	15	5,250
701	40	16	5,250
701	40	17	5,250

PHASE	BLOCK	LOT	AREA (SF)
701	40	COMMON AREA A 701	13,983

FIELD NOTES DESCRIPTION

OF A
12.804 ACRE TRACT
STERRETT D. SMITH LEAGUE SURVEY, ABSTRACT NO. 210
BRAZOS COUNTY, TEXAS

A FIELD NOTES DESCRIPTION OF 12.804 ACRES IN THE STERRETT D. SMITH LEAGUE SURVEY, ABSTRACT NO. 210, IN BRAZOS COUNTY, TEXAS, BEING A PORTION OF THE REMAINDER OF A CALLED 374.89 ACRE TRACT DESCRIBED AS "TRACT 1" IN A DEED TO PHILLIPS 3 LAND HOLDINGS, LLC, A TEXAS LIMITED LIABILITY COMPANY IN VOLUME 17376, PAGE 228 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS (OPRBCT); SAID 12.804 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 1/2 inch iron rod found (all 1/2 inch iron rods found with blue plastic caps stamped KERR SURVEYING unless otherwise noted) on the northwest right-of-way of Patriot Drive (50' right-of-way, 17135/180; 17710/93 OPRBCT) marking the south corner of Lot 13, Block 31, Southern Pointe Subdivision Section 106 (18712/184 OPRBCT) and the east corner hereof; from which the City of College Station GPS Monument CS94-154 bears S 52° 51' 55" E a distance of 3,279.98;

THENCE, with said right-of-way of Patriot Drive and the platted northwest lines of Southern Pointe Subdivision Section 102 (17710/93 OPRBCT) for the following nine (9) courses and distances:

- 1) S 50° 27' 43" W a distance of 90.00 feet to a 1/2 inch iron rod found;
- 2) N 84° 32' 17" W a distance of 35.36 feet to a 1/2 inch iron rod found;
- 3) S 50° 27' 43" W a distance of 50.00 feet to a 1/2 inch iron rod found;
- 4) S 05° 27' 43" W a distance of 35.36 feet to a 1/2 inch iron rod found;
- 5) S 50° 27' 43" W a distance of 180.00 feet to a 1/2 inch iron rod found;
- 6) N 84° 32' 17" W a distance of 35.36 feet to a 1/2 inch iron rod found;
- 7) S 50° 27' 43" W a distance of 50.00 feet to a 1/2 inch iron rod found;
- 8) S 05° 27' 43" W a distance of 35.36 feet to a 1/2 inch iron rod found;
- 9) S 50° 27' 43" W a distance of 90.00 feet to a 1/2 inch iron rod found;

THENCE, severing said remainder of called 374.89 acre tract for the following thirteen (13) courses and distances:

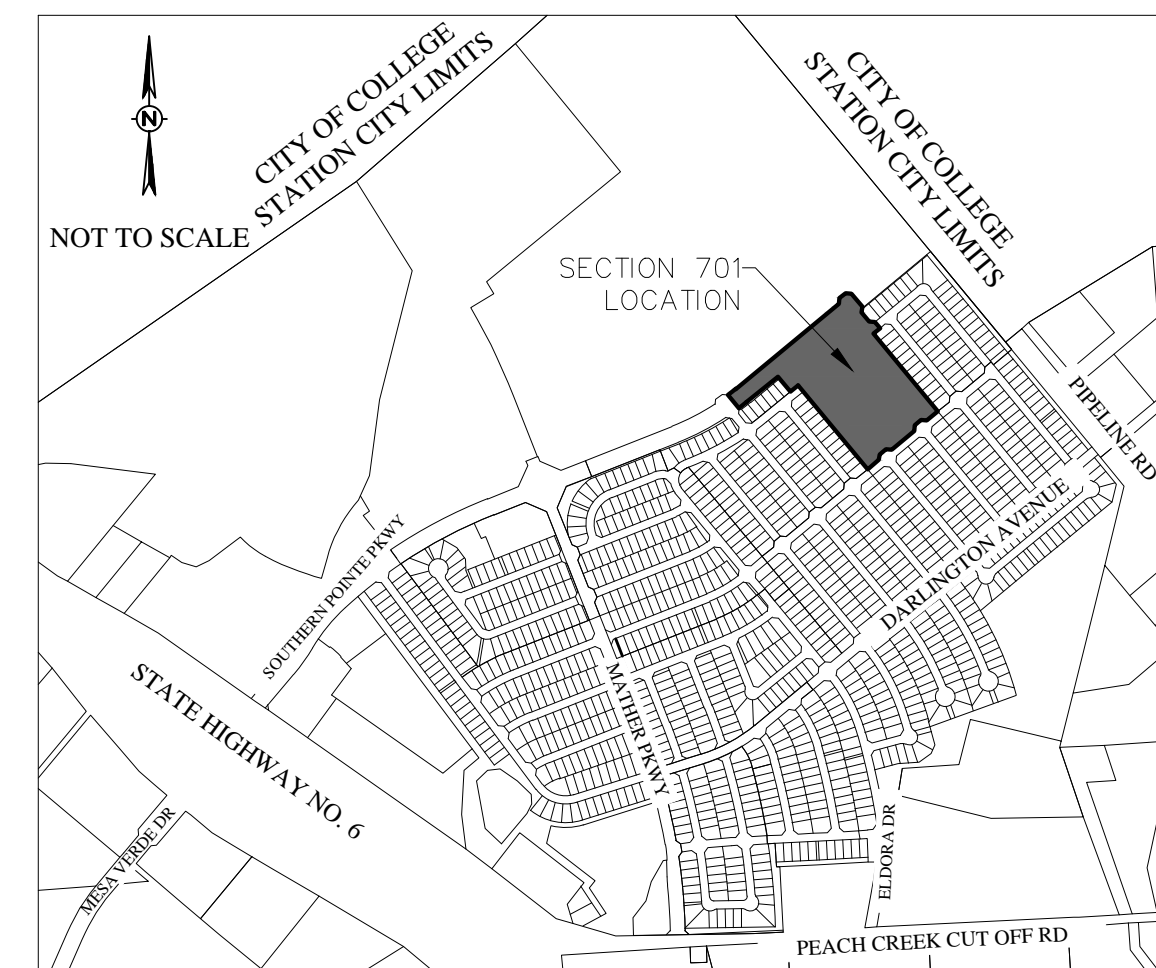
- 1) N 39° 32' 17" W a distance of 670.00 feet;
- 2) S 50° 27' 43" W a distance of 63.00 feet;
- 3) N 39° 32' 17" W a distance of 121.00 feet;
- 4) S 50° 27' 43" W a distance of 249.37 feet;
- 5) With a tangent curve to the right having a radius of 1,552.50 feet, an arc length of 57.67 feet, a delta angle of 02° 07' 42", and a chord which bears S 51° 31' 34" W a distance of 57.67 feet;
- 6) N 39° 32' 25" W a distance of 105.08 feet;
- 7) With a non-tangent curve to the left having a radius of 1,447.50 feet, an arc length of 57.68 feet, a delta angle of 02° 16' 59", and a chord which bears N 51° 36' 12" E a distance of 57.67 feet;
- 8) N 50° 27' 43" E a distance of 822.37 feet;
- 9) N 05° 27' 43" E a distance of 35.36 feet;
- 10) N 50° 27' 43" E a distance of 50.00 feet;
- 11) S 84° 32' 17" E a distance of 35.36 feet;
- 12) S 39° 32' 17" E a distance of 105.00 feet;
- 13) S 05° 27' 43" W a distance of 35.36 feet;

THENCE, partly severing said remainder of 374.89 acre tract and partly with the southwest line of Lot 36, Block 13, Southern Pointe Subdivision Section 106, S 39° 32' 17" E a distance of 71.00 feet to a 1/2 inch iron rod found marking a southwest corner of said Lot 36, Block 13;

THENCE, continuing with the exterior platted boundary of said Section 106 for the following four (4) courses and distances:

- 1) S 84° 32' 17" E a distance of 35.36 feet to a 1/2 inch iron rod found;
- 2) S 39° 32' 17" E a distance of 50.00 feet to a 1/2 inch iron rod found;
- 3) S 50° 27' 43" W a distance of 50.00 feet to a 1/2 inch iron rod found;
- 4) S 39° 32' 17" E a distance of 620.00 feet to the POINT OF BEGINNING hereof and containing 12.804 acres of land, more or less. Surveyed on the ground in 2022-2024 by this professional land surveying firm and under my supervision.

VICINITY MAP



FINAL PLAT
SOUTHERN POINTE
SUBDIVISION
SECTION 701

12.804 ACRES

59 LOTS

BLOCK 31, LOTS 1-12

BLOCK 32, LOTS 1-24

BLOCK 33, LOTS 13-24

BLOCK 40, LOTS 7-17

COMMON AREA A 701 - 0.321 ACRES

BEING A PORTION OF THE REMAINDER

OF A CALLED 374.89 ACRE ("TRACT 1")

VOLUME 17376, PAGE 228 OPRBCT

STERRETT D. SMITH LEAGUE SURVEY, A-210

BRAZOS COUNTY, TEXAS

SCALE 1" = 50'
AUGUST, 2024

DEVELOPER:
BV Southern Pointe Developmmt, INC.
1140 Midtown Drive
College Station, TX 77845

OWNER:
Phillips 3 Land Holdings, LLC
1140 Midtown Drive
College Station, TX 77845

SURVEYOR:



Michael Konetski, RPLS No. 6531
Kerr Surveying, LLC
1718 Briarcrest Drive
Bryan, TX 77802
(979) 268-3195
TBPELS FIRM # 10018500
KERR JOB 24-672

ENGINEER:

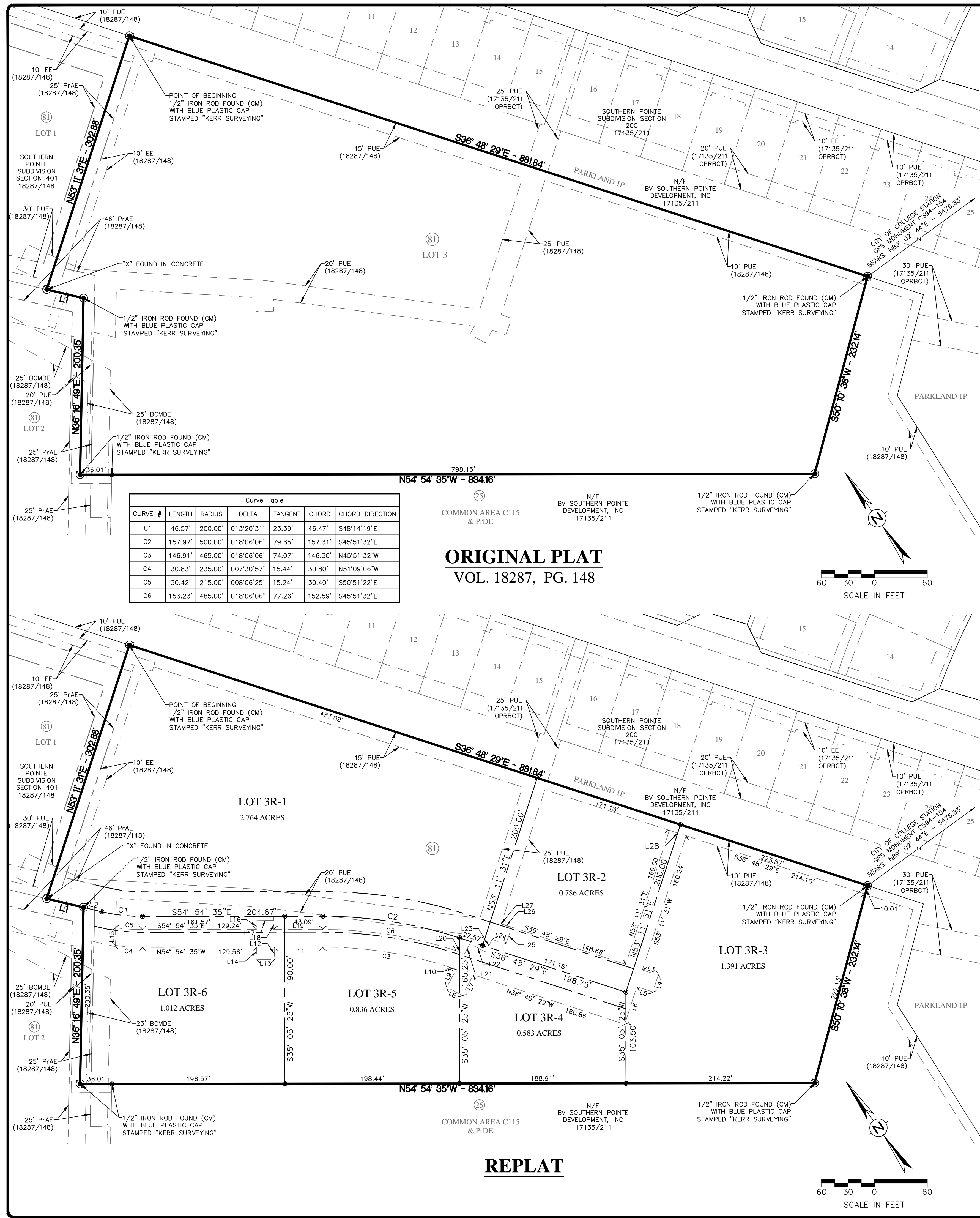


TBPE NO. 12327
911 SOUTHWEST PKWY E.
College Station, Texas 77840

(979) 764-3900

KERR JOB 24-672

SHEET 2 OF 2



CERTIFICATE OF OWNERSHIP AND DEDICATION
 STATE OF TEXAS
 COUNTY OF BRAZOS
 I, Wallace S. Phillips III, Sole Director of BV Southern Pointe Development, Inc., owner and developer of the land shown on this plat, and designated herein as the Southern Pointe Subdivision, Section 401, Block 81, Lots 3R-1 - 3R-6, to the City of College Station, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, greenways, infrastructure, easements and public places thereon shown for the purpose and consideration therein expressed. All such dedications shall be in fee simple unless expressly provided otherwise.

By Wallace S. Phillips III, Sole Director
 STATE OF TEXAS
 COUNTY OF BRAZOS
 Before me, the undersigned authority, on this day personally appeared Wallace S. Phillips III, Sole Director of BV Southern Pointe Development, Inc., a Texas Corporation, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purpose and consideration therein stated.
 Given under my hand and seal on this ____ day of _____, 20____

Notary Public, Brazos County, Texas

CERTIFICATE OF CITY ENGINEER
 I, _____, City Engineer of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station, Texas.

City Engineer
 City of College Station, Texas

CERTIFICATE OF COUNTY CLERK

County Clerk
 Brazos County, Texas

CERTIFICATE OF PLANNING AND ZONING COMMISSION
 I, _____, Chairman of the Planning and Zoning Commission of the City of College Station, Texas, hereby certify that the attached plat was duly approved by the Commission on the ____ day of _____, 20____

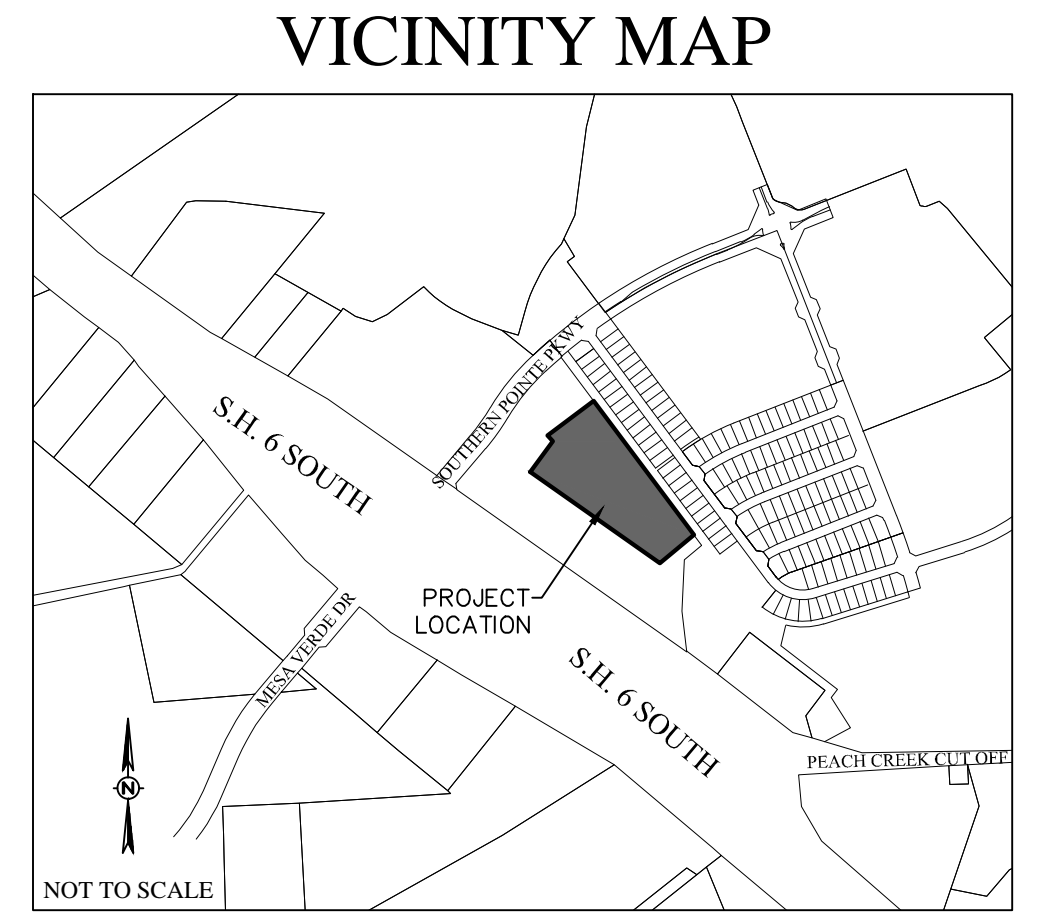
Chairman
 City of College Station, Texas

CERTIFICATE OF THE SURVEYOR
 STATE OF TEXAS
 COUNTY OF BRAZOS
 I, Michael Konetski, Registered Professional Land Surveyor No. 6531, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that the property markers and monuments were placed under my supervision on the ground.

R.P.L.S. No. 6531

- NOTES:**
- THE PROPOSED DEVELOPMENT IS LOCATED IN THE CITY OF COLLEGE STATION ETJ. THIS DEVELOPMENT IS BEING REVIEWED AS AN "IN CITY" DEVELOPMENT PER LETTER REQUEST BY THE DEVELOPER TO THE CITY.
 - BEARING SYSTEM SHOWN HEREON IS BASED ON THE TEXAS STATE PLANE CENTRAL ZONE GRID NORTH (NAD 83) AS ESTABLISHED FROM GPS OBSERVATION.
 - DISTANCES SHOWN HEREON ARE SURFACE DISTANCES. TO DETERMINE GRID DISTANCES MULTIPLY BY A COMBINED SCALE FACTOR OF 0.9999059410912.
 - NO PORTION OF THIS TRACT IS WITHIN THE 100 YEAR FLOODPLAIN ACCORDING TO THE F.E.M.A. FLOOD INSURANCE RATE MAP FOR BRAZOS COUNTY AND INCORPORATED AREAS, MAP NO. 48041C0350E, EFFECTIVE DATE: MAY 16, 2012.
 - 1/2" IRON RODS WITH BLUE PLASTIC CAP STAMPED "KERR SURVEYING" WILL BE SET AT ALL LOT CORNERS AND ANGLE POINTS UNLESS NOTED OTHERWISE.
 - DISTANCES SHOWN ON CURVES ARE CHORD LENGTHS.
 - PROPOSED USES ARE COMMERCIAL, INSTITUTIONAL, MULTI-FAMILY, SINGLE-FAMILY, AND OPEN SPACE IN COMPLIANCE WITH THE SIGNED DEVELOPMENT AGREEMENT BETWEEN THE CITY OF COLLEGE STATION AND MCALISTER OPPORTUNITY FUND 2012, L.P. DATED MARCH 12, 2015 RECORDED IN VOLUME 12656, PAGE 190 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY (AMENDED NOVEMBER 10, 2016).
 - THE DEVELOPMENT AGREEMENT BETWEEN THE CITY AND THE DEVELOPER HAS ESTABLISHED AN EFFECTIVE DATE OF MARCH 12, 2015 BASED ON ARTICLE II OF THE DEVELOPMENT AGREEMENT (DA). THE PROPOSED DEVELOPMENT WILL COMPLY WITH THE UNITED DEVELOPMENT ORDINANCE OF THE CITY OF COLLEGE STATION AS OF THE "EFFECTIVE" DATE OF THE DA. THEREFORE, THE EFFECTIVE UDO IS THE FEBRUARY 10, 2015, SUPPLEMENT 4 (EFFECTIVE UDO).
 - PER THE EXECUTED UTILITY AGREEMENT BETWEEN THE CITY OF COLLEGE STATION AND BRAZOS COUNTY MUNICIPAL UTILITY DISTRICT NO. 1, EXECUTED AUGUST 21, 2015 AND AMENDED NOVEMBER 10, 2016, WATER AND WASTE WATER SERVICE ARE TO BE PROVIDED BY CITY OF COLLEGE STATION.
 - PER THE EXECUTED UTILITY AGREEMENT BETWEEN THE CITY OF COLLEGE STATION AND BRAZOS COUNTY MUNICIPAL UTILITY DISTRICT NO. 1, EXECUTED AUGUST 21, 2015 AND AMENDED NOVEMBER 10, 2016, THE CITY OF COLLEGE STATION WILL, UPON ACCEPTANCE, OWN AND OPERATE ALL PUBLIC WATER AND PUBLIC SANITARY SEWER FACILITIES IN BRAZOS COUNTY MUNICIPAL UTILITY DISTRICT NO. 1.
 - WATER, SEWER, DRAINAGE, AND STREETS WILL BE DESIGNED AND CONSTRUCTED TO THE 2012 EDITION OF THE B/C/S UNIFIED DEVELOPMENT GUIDELINES, STANDARDS, AND SPECIFICATIONS.

VICINITY MAP



LINE TABLE

LINE #	LENGTH	DIRECTION
L1	43.04'	N41° 34' 04"W
L2	21.27'	S41° 34' 04"E
L3	19.00'	S36° 48' 29"E
L4	20.00'	S53° 11' 31"W
L5	19.00'	N36° 48' 29"W
L6	44.76'	S53° 11' 31"W
L7	26.45'	S63° 16' 12"W
L8	20.00'	N26° 43' 48"W
L9	22.89'	N63° 16' 12"E
L10	7.58'	N36° 48' 29"W
L11	55.10'	N54° 54' 35"W
L12	13.84'	S34° 10' 19"W
L13	20.00'	N55° 49' 41"W
L14	14.16'	N34° 10' 19"E

LEGEND

- PROPERTY BOUNDARY
- RIGHT OF WAY
- LOT LINE
- PUBLIC UTILITY EASEMENT (P.U.E.)
- PRIVATE ACCESS EASEMENT (P.A.E.)
- EXISTING PUBLIC UTILITY EASEMENT (P.U.E.)
- EXISTING PUBLIC ELECTRICAL EASEMENT (E.E.)
- EXISTING BRAZOS COUNTY MUD NO. 1 DRAINAGE EASEMENT (B.C.M.D.E.)
- EXISTING PRIVATE ACCESS EASEMENT (P.A.E.)
- LOT CORNER - 1/2" IRON ROD SET WITH BLUE PLASTIC CAPS STAMPED "KERR SURVEYING"
- RIGHT OF WAY CENTERLINE
- "X" SET IN CONCRETE
- BLOCK LABEL
- (CM) CONTROLLING MONUMENT FOUND AND USED TO ESTABLISH PROPERTY LINES
- (OPRBC) OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS
- (I) RECORDING INFORMATION
- (R) RIGHT-OF-WAY

FIELD NOTES DESCRIPTION
 OF A
 7.371 ACRE TRACT
 STERRETT D. SMITH LEAGUE SURVEY, ABSTRACT 210
 BRAZOS COUNTY, TEXAS

A FIELD NOTES DESCRIPTION OF 7.371 ACRES IN THE STERRETT D. SMITH LEAGUE SURVEY, ABSTRACT 210, IN BRAZOS COUNTY, TEXAS, BEING ALL OF LOT 3, BLOCK 81, SOUTHERN POINTE SUBDIVISION SECTION 401 AS DEPICTED ON THE PLAT RECORDED IN VOLUME 18287, PAGE 148 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS (OPRBC), SAYS 7.371 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:
 BEGINNING at a 1/2 inch iron rod found (all 1/2 inch iron rods found with blue plastic caps stamped KERR SURVEYING) on the southwest line of Parkland IP, Southern Pointe Subdivision Section 200 as depicted on the plat recorded in Volume 17135, Page 211 (OPRBC) marking the east corner of Lot 1, Block 81 of said Section 401 and the north corner of said Lot 3, Block 81;
 THENCE, with said southwest line of Parkland IP and the northeast line of said Lot 3, Block 81, S 36° 48' 29" E a distance of 881.84 feet to a 1/2 inch iron rod found marking a north corner of Common Area C115, Block 25, Southern Pointe Subdivision Section 115 (18287/148 OPRBC) and the east corner of said Lot 3, Block 81; for reference the City of College Station GPS Monument CS94-154 bears N 89° 02' 44" E a distance of 5,476.83;
 THENCE, with the common line of said Common Area C115, Block 25 and said Lot 3, Block 81, S 50° 10' 38" W a distance of 232.14 feet to a 1/2 inch iron rod found;
 THENCE, with the common line of said Common Area C115 and the southwest line of Lot 3, Block 81, N 54° 54' 35" W, passing at 798.15 feet to a 1/2 inch iron rod found marking the northeast common corner of Lot 2, Block 81 and said Common Area C115, continuing for a total distance of 834.16 feet to a 1/2 inch iron rod found marking an interior corner of said Lot 2 and the west corner of Lot 3;
 THENCE, with the common lines of said Lots 2 and 3 for the following two (2) courses and distances:
 1) N 36° 16' 49" E a distance of 200.35 feet to a 1/2 inch iron rod found;
 2) N 41° 54' 04" W a distance of 43.04 feet to an X found in concrete on a northeast line of said Lot 2 marking the south corner of said Lot 1 and a west corner of said Lot 3;
 THENCE, with the common line of said Lots 1 and 3, N 53° 11' 31" E a distance of 302.88 feet to the POINT OF BEGINNING hereof and containing 7.371 acres of land, more or less. Surveyed on the ground 2022, 2023, and 2024 by this professional land surveying firm and under my supervision.

FINAL PLAT
 OF
SOUTHERN POINTE SUBDIVISION
 SECTION 401
 BLOCK 81, LOTS 3R-1 - 3R-6
 7.371 ACRES
 BEING A
REPLAT
 OF
 BLOCK 81, LOT 3
 SOUTHERN POINTE SUBDIVISION SECTION 401
 VOLUME 18287, PAGE 148
 STERRETT D SMITH LEAGUE SURVEY, A-210
 COLLEGE STATION, BRAZOS COUNTY, TEXAS

SCALE 1" = 60'
 AUGUST, 2024

OWNER/DEVELOPER:
 BV SOUTHERN POINTE DEVELOPMENT, INC.
 1140 Midtown Drive
 College Station, TX 77845
 (979) 255-4466

SURVEYOR:
 KERR SURVEYING, LLC
 Kerr Surveying, LLC
 1718 Briarcrest Dr.
 Bryan, TX 77802
 (979) 268-3195
 TBPELS FIRM # 10018500
 SURVEYS@KERRSURVEYING.NET
 Kerr Job 24-832

ENGINEER:
 SCHULTZ
 TPBE FIRM NO. 12327
 911 SOUTHWEST PKWY E.
 College Station, Texas 77840
 (979) 764-9900

CERTIFICATE OF PLANNING AND ZONING COMMISSION:

I, _____ CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF COLLEGE STATION, HEREBY CERTIFY THAT THE ATTACHED PLAT WAS DULY APPROVED BY THE COMMISSION ON THE _____ DAY OF _____, 20____.

CHAIRMAN

CERTIFICATE OF CITY ENGINEER:

I, _____ CITY ENGINEER OF THE CITY OF COLLEGE STATION, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF COLLEGE STATION.

CITY ENGINEER
CITY OF COLLEGE STATION

LEGEND	
○	5/8" IRON ROD SET (USO)
●	1/2" IRON ROD FOUND (USO)
●	5/8" IRON ROD FOUND (USO)
---	UNLESS STATED OTHERWISE DRAINAGE EASEMENT
---	UTILITY EASEMENT
---	PUBLIC UTILITY EASEMENT

NOTES

- COORDINATES AND BEARINGS ARE BASED UPON THE TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE.
- ACCORDING TO TEXAS LOCAL GOVERNMENT CODE, CHAPTER 212.004 AND 212.005, DIVIDING ANY TRACT OR LOT INTO TWO OR MORE PARTS WITHOUT BENEFIT OF A SUBDIVISION PLAT APPROVED BY THE CITY AND ALSO FILED AND RECORDED WITH THE COUNTY CLERK, IS A VIOLATION OF CITY ORDINANCE AND STATE LAW, SUBJECTING THE VIOLATOR TO FINES AND/OR THE WITHHOLDING OF UTILITIES AND BUILDING PERMITS.
- THIS PROFESSIONAL SERVICE WAS PERFORMED WITH BENEFIT OF HAVING BEEN FURNISHED A TITLE COMMITMENT, EASEMENTS AND/OR OTHER MATTERS AND/OR ISSUES RELATING TO TITLE COULD AND MAY EXIST.
- ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS FOR BRAZOS COUNTY, TEXAS, COMMUNITY - PANEL NO. 48041C0325E DATED MAY 16, 2012, THIS PROPERTY IS LOCATED IN FLOOD ZONE "X" - AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

CERTIFICATE OF OWNERSHIP AND DEDICATION:

STATE OF TEXAS)
COUNTY OF BRAZOS)
WE, XXXXXXXX OWNERS AND DEVELOPERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE LEYLA HEIGHTS SUBDIVISION, PHASE 1 TO THE CITY OF COLLEGE STATION, TEXAS, AND WHOSE NAMES ARE SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, GREENWAYS, INFRASTRUCTURE, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED. ALL SUCH DEDICATIONS SHALL BE IN FEE SIMPLE UNLESS EXPRESSLY PROVIDED OTHERWISE.

XXXXXXXXXX
BY: XXXXXXXXX

BY: XXXXXXXX, AUTHORIZED SIGNATORY

CERTIFICATE OF NOTARY:

STATE OF TEXAS)
COUNTY OF BRAZOS)
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED XXXXXXXX KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE/THEY EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL ON THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR BRAZOS COUNTY, TEXAS

(SEAL)

CERTIFICATE OF THE COUNTY CLERK:

STATE OF TEXAS)
COUNTY OF BRAZOS)
I, _____ COUNTY CLERK, IN AND FOR SAID COUNTY, DO HEREBY CERTIFY THAT THIS PLAT TOGETHER WITH ITS CERTIFICATES OF AUTHENTICATION WAS FILED FOR RECORD IN MY OFFICE THE _____ DAY OF _____, 20____, IN THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS, IN VOLUME _____ PAGE _____.

WITNESS MY HAND AND OFFICIAL SEAL, AT MY OFFICE IN BRYAN, TEXAS.

COUNTY CLERK
BRAZOS COUNTY, TEXAS

(SEAL)

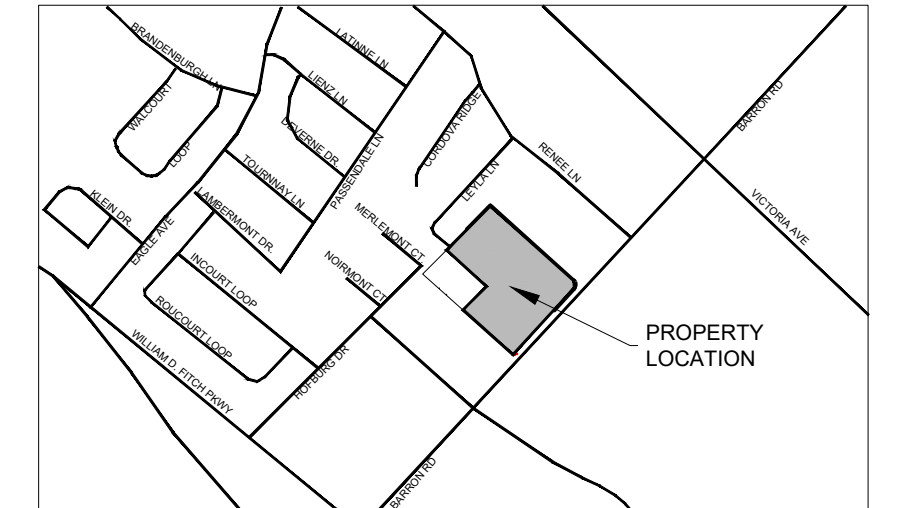
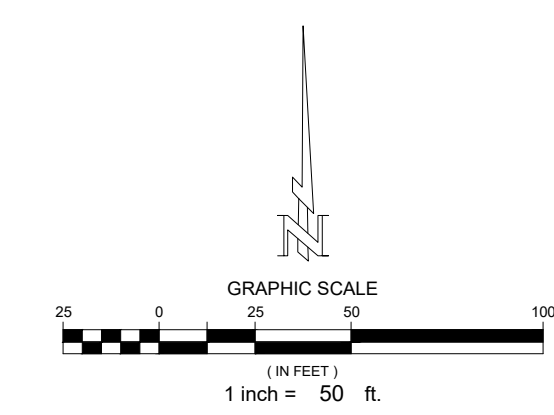
SURVEYOR'S CERTIFICATE:

STATE OF TEXAS)
COUNTY OF BRAZOS)
I, TROY MAXWELL, REGISTERED PROFESSIONAL LAND SURVEYOR (RPLS), NO. 5585, IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY AND THAT PROPERTY MARKERS AND MONUMENTS WERE PLACED UNDER MY SUPERVISION ON THE GROUND.

PRELIMINARY

NOT TO BE RECORDED FOR ANY PURPOSE
TROY MAXWELL
REGISTERED PROFESSIONAL LAND SURVEYOR
TEXAS REGISTRATION NO. 5585

APRIL 19, 2024
DATE



LINE TABLE		
LINE	DIRECTION	LENGTH
L1	S87°43'22"W	35.31'
L2	S02°10'38"E	35.40'
L3	N88°49'39"E	35.58'
L4	N01°45'45"W	34.34'

METES AND BOUNDS DESCRIPTION
7.073 ACRES

ALL THAT CERTAIN TRACT OR PARCEL CONTAINING 7.073 ACRES OF LAND IN THE ROBERT STEVENSON SURVEY, A-54, BRAZOS COUNTY, TEXAS, BEING A PORTION OF A 121 TRACTS WHICH WAS CALLED 4.89 ACRES AND CONVEYED FROM EUGENE BERNARD SAVAGE, ET AL., TO GRACE LYNN SAVAGE, TRUSTEE, BY AN INSTRUMENT OF RECORD IN VOLUME 19689, PAGE 95, OF THE BRAZOS COUNTY OFFICIAL PUBLIC RECORDS, (BCOPR), AND ALL OF LOTS 17, BLOCK 1, NEEDHAM ESTATES, A SUBDIVISION OF RECORD IN VOLUME 276, PAGE 301, BCOPR, SAID 7.073 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, BASING BEARINGS ON THE TEXAS COORDINATE SYSTEM OF 1983, (NAD 83) CENTRAL ZONE, TO WIT:

BEGINNING AT A 1/2" IRON ROD FOUND FOR WEST CORNER OF SAID 4.89 ACRE TRACT AND NORTH CORNER OF A TRACT WHICH WAS CALLED LOT 20, BLOCK 1, BARRON CREST SUBDIVISION, A SUBDIVISION OF RECORD IN VOLUME 13019, PAGE 194, BCOPR, LYING IN THE SOUTHEAST RIGHT-OF-WAY (R-O-W) LINE OF HOFBURG DRIVE;

THENCE DEPARTING HOFBURG DRIVE, N44°51'14"E, CROSSING LEYLA LANE AND ALONG THE COMMON LINE OF SAID 4.89 ACRE TRACT AND A TRACT WHICH WAS CALLED LOT 1, BLOCK 1, EDELWEISS RIDGE, A SUBDIVISION OF RECORD IN VOLUME 10656, PAGE 244, BCOPR, AT 112.62 FEET PASS A 1/2" IRON ROD FOUND FOR COMMON CORNER OF LOT 2, BLOCK 1 AND LOT 3, BLOCK 1, AND CONTINUING ALONG SAID COMMON LINE OF SAID 4.89 ACRE TRACT AND BLOCK 1, AT 163.83 FEET PASS A 1/2" IRON ROD FOUND FOR COMMON CORNER OF LOT 7, BLOCK 1, NEEDHAM ESTATES, AND CONTINUING ALONG SAID COMMON LINE FOR A DISTANCE IN ALL OF 325.03 FEET TO A 1/2" IRON ROD FOUND FOR NORTH CORNER, BEING THE NORTH CORNER OF LOT 7, BLOCK 1, LYING IN THE SOUTHWEST R-O-W LINE OF JAMEY LANE, A PUBLIC ROAD;

THENCE S48°00'18"E, ALONG THE NORTHEAST LINE OF BLOCK 1, NEEDHAM ESTATES AND SOUTHWEST R-O-W LINE OF JAMEY LANE, AT 93.82 FEET PASS A 5/8" IRON ROD FOUND FOR COMMON CORNER OF LOT 7, BLOCK 1, AND LOT 8, BLOCK 1, AND CONTINUING ALONG SAID COMMON LINE AT 179.81 FEET PASS A 5/8" IRON ROD FOUND FOR COMMON CORNER OF LOT 6, BLOCK 1 AND LOT 5, BLOCK 1, AND CONTINUING ALONG SAID COMMON LINE, AT 265.73 FEET PASS A 5/8" IRON ROD FOUND FOR COMMON CORNER OF LOT 5, BLOCK 1 AND LOT 4, BLOCK 1, AND CONTINUING ALONG SAID COMMON LINE, AT 351.75 FEET PASS A 5/8" IRON ROD FOUND FOR COMMON CORNER OF LOT 4, BLOCK 1 AND LOT 3, BLOCK 1, AND CONTINUING ALONG SAID COMMON LINE, AT 437.87 FEET PASS A 5/8" IRON ROD FOUND FOR COMMON CORNER OF LOT 3, BLOCK 1 AND LOT 2, BLOCK 1, AND CONTINUING ALONG SAID COMMON LINE FOR A DISTANCE IN ALL OF 584.73 FEET TO A 1/2" IRON ROD FOUND FOR ANGLE POINT, BEING AN ANGLE POINT OF LOT 1, BLOCK 1 AND BEGINNING OF A CURVE;

THENCE 39.26 FEET, ALONG BLOCK 1, NEEDHAM ESTATES, SOUTHWEST R-O-W LINE OF JAMEY LANE, NORTHWEST R-O-W LINE OF BARRON ROAD, AND THE ARC OF A CURVE TO THE RIGHT, (DELTA= 89°23'12", RADIUS= 25.16 FEET, CHORD= 303°05'29"E, 35.40 FEET), TO A 1/2" IRON ROD FOUND AT THE END OF CURVE FOR EAST CORNER, BEING AN EAST CORNER OF LOT 1, BLOCK 1;

THENCE S42°25'53"W, DEPARTING JAMEY LANE, S42°25'53"W, 123.69 FEET, ALONG THE COMMON LINE OF BLOCK 1, NEEDHAM ESTATES AND NORTHWEST R-O-W LINE OF BARRON ROAD TO A 1/2" IRON ROD FOUND FOR ANGLE POINT, BEING THE SOUTH CORNER OF LOT 1, BLOCK 1 AND EAST CORNER OF SAID 4.89 ACRE TRACT;

THENCE S42°38'41"W, 347.54 FEET, ALONG THE COMMON LINE OF SAID 4.89 ACRE TRACT AND NORTHWEST R-O-W LINE OF BARRON ROAD TO A 1/2" IRON ROD FOUND FOR SOUTH CORNER, BEING THE SOUTH CORNER OF SAID 4.89 ACRE TRACT AND SOUTH CORNER OF LOT 11, BLOCK 2, BARRON CREST SUBDIVISION, FROM WHICH A 5/8" IRON ROD FOUND BEARS, S03°02'41"W, 0.28 FEET;

THENCE N48°10'05"W, ALONG THE COMMON LINE OF SAID 4.89 ACRE TRACT AND LOT 11, BLOCK 2 PASS A 1/2" IRON ROD FOUND AT 348.37 FEET, BEING THE COMMON CORNER OF LOT 10, BLOCK 2 AND LOT 11, BLOCK 2, BARRON CREST SUBDIVISION, AND CONTINUING ALONG THE COMMON LINE AT 115.52 FEET PASS A 1/2" IRON ROD FOUND FOR NORTH CORNER OF LOT 10, LYING IN THE SOUTHWEST R-O-W LINE OF CRESTMONT DRIVE, AND CONTINUING ALONG SAID COMMON LINE, AT 165.84 FEET PASS A 1/2" IRON ROD FOUND FOR EAST CORNER OF LOT 20, BLOCK 1, LYING IN THE NORTHWEST R-O-W LINE OF CRESTMONT DRIVE, AND CONTINUING ALONG THE COMMON LINE OF SAID 4.89 ACRE TRACT AND BLOCK 1, FOR A DISTANCE IN ALL OF 629.78 FEET, TO THE PLACE OF BEGINNING, CONTAINING 7.073 ACRES OF LAND, MORE OR LESS, AS A PART OF THIS PROFESSIONAL SERVICE. A CERTIFIED PLAT HAS BEEN PREPARED BY JOHNSON & PACE INCORPORATED UNDER JOB # 5624-001.

CURVE TABLE					
CURVE	DELTA	RADIUS	LENGTH	CHORD DIRECTION	CHORD
C2	089°23'12"	25.16'	39.26'	S03°05'29"E	35.40'

FINAL PLAT OF LEYLA HEIGHTS SUBDIVISION PHASE 1
3 BLOCKS, 32 LOTS & COMMON AREAS 1 & 2
 7.073 ACRES TOTAL
 ROBERT STEVENSON SURVEY, A-54
 COLLEGE STATION, BRAZOS COUNTY, TEXAS

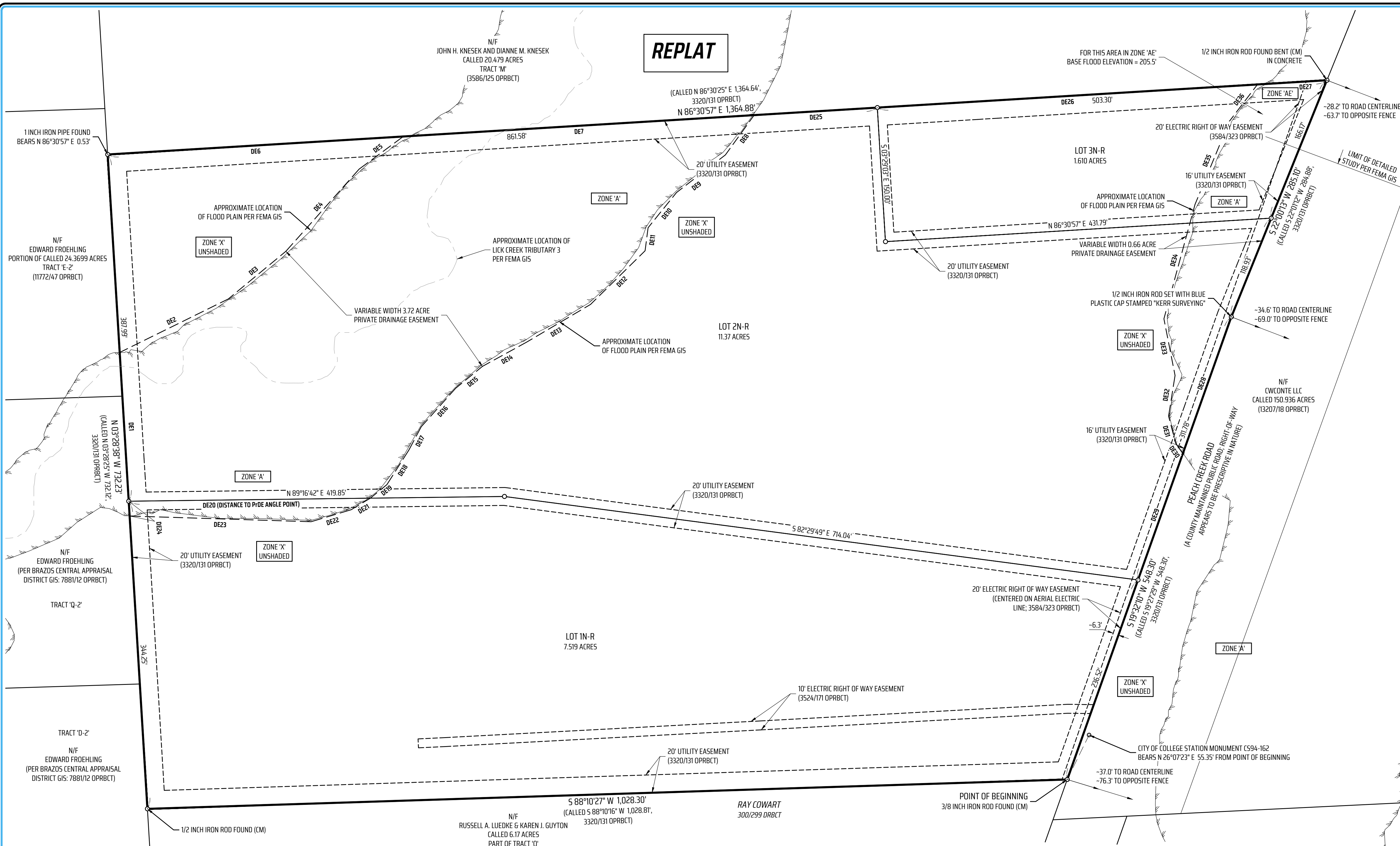
48 LOTS
SCALE: 1"=50'

JOHNSON & PACE INCORPORATED
1201 NW LOOP 281, SUITE 100,
LONGVIEW, TEXAS 75604
(903)753-0663 FAX (903)753-8803
WWW.JOHNSONPACE.COM
TBPLS 10025400
TBPE F-4691

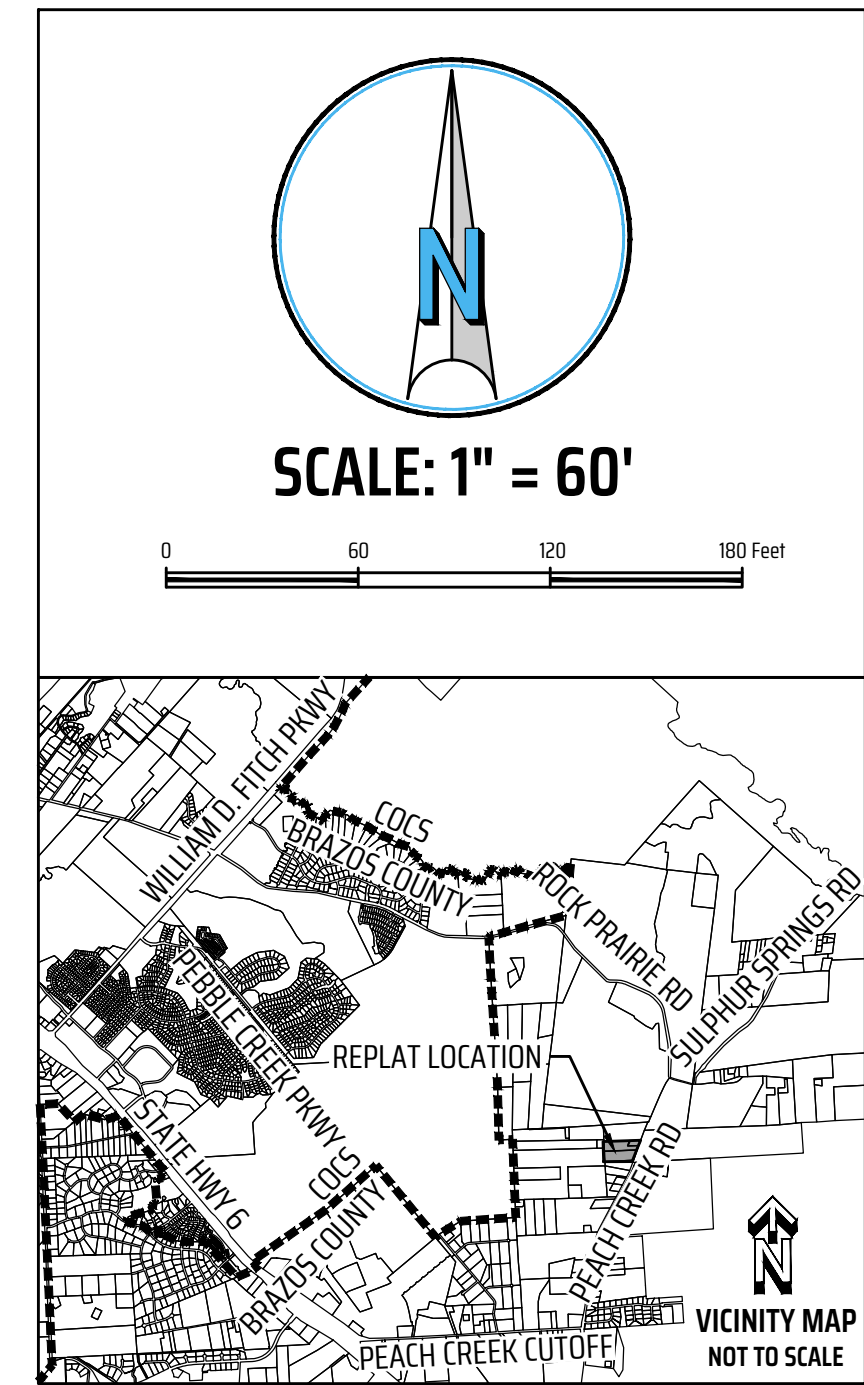
ENGINEER:
DANIEL BEAMON, P.E., BEAMON ENGINEERING
16172 BENCH LANE
BRYAN, TEXAS, 77807
SURVEYOR:
TROY MAXWELL, R.P.L.S.
1201 NW LOOP 281, SUITE 100
LONGVIEW, TEXAS, 75604
OWNER:
AMSTAD BUTLER JV, LLC
4501 MILLS PARK CIRCLE
COLLEGE STATION, TEXAS, 77845



JOB #5624-001, JUNE 4, 2024



LEGEND:
 DRBCT = DEED RECORDS OF BRAZOS COUNTY, TEXAS
 ORBCT = OFFICIAL RECORDS OF BRAZOS COUNTY, TEXAS
 OPRBCT = OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS
 123/456 = VOLUME AND PAGE FROM PUBLIC COUNTY RECORDS
 N/F = NOW OR FORMERLY
 () = RECORD INFORMATION
 (CM) CONTROLLING MONUMENT FOUND AND USED TO ESTABLISH PROPERTY BOUNDARIES.
 COCS = CITY OF COLLEGE STATION



- GENERAL NOTES**
- BEARING SYSTEM SHOWN HEREON IS BASED ON TEXAS COORDINATE SYSTEM OF 1983, CENTRAL ZONE (4203), GRID NORTH AS ESTABLISHED FROM GPS OBSERVATION USING THE LEICA SMARTNET NAD83 (NA2011) EPOCH 2010 MULTI-YEAR CORS SOLUTION 2 (MYCS2).
 - DISTANCES SHOWN HEREON ARE SURFACE DISTANCES UNLESS OTHERWISE NOTED. TO OBTAIN GRID DISTANCES (NOT AREAS) DIVIDE BY A COMBINED SCALE FACTOR OF 1.0000929032392 (CALCULATED USING GEOID12B).
 - THIS TRACT LIES WITHIN FLOOD ZONE 'X' UNSHADED AND FLOOD ZONE 'A' AND 'AE' AND DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA SUBJECT TO THE 1% ANNUAL CHANCE FLOOD (100 YEAR FLOOD PLAIN) ACCORDING TO THE BRAZOS COUNTY FLOOD INSURANCE RATE MAP (FIRM) PANEL NO. 4804IC0350E, REVISED DATE: 05-16-2012. THE AREA AT NORTHEAST CORNER OF LOT 3N DOES LIE WITHIN FLOOD ZONE 'AE' AND HAS A BASE FLOOD ELEVATION OF 205.5' BASED ON PANEL NO. 4804IC0350E AND FLOOD INSURANCE STUDY 4804ICV0008, REVISED DATE: 04-02-2014.
 - ALL PROPERTY CORNERS AND ANGLE POINTS ARE 1/2 INCH IRON RODS SET WITH BLUE PLASTIC CAPS STAMPED "KERR SURVEYING" UNLESS OTHERWISE NOTED.
 - THIS SURVEY PLAT WAS PREPARED TO REFLECT THE TITLE REPORT ISSUED BY UNIVERSITY TITLE COMPANY, GF NO. 2304720CS, CERTIFICATION DATE: 9-4-2023. EXCEPTIONS ARE ADDRESSED AS FOLLOWS:
 - (3320/131 OPRBCT) EASEMENTS ON PLAT (3320/131 OPRBCT) DO APPLY TO THESE LOTS AS SHOWN HEREON.
 - (141/544 DRBCT) BLANKET ELECTRIC EASEMENT TO THE CITY OF BRYAN DOES APPLY TO THESE LOTS BUT IS BLANKET IN NATURE AND NOT PLOTTABLE.
 - (204/288 DRBCT) BLANKET TELEPHONE LINE RIGHT-OF-WAY EASEMENT TO THE NAVASOTA TELEPHONE COMPANY DOES APPLY TO THESE LOTS BUT IS BLANKET IN NATURE AND NOT PLOTTABLE.
 - (3524/171 OPRBCT) 10' WIDE ELECTRIC RIGHT OF WAY EASEMENT TO THE CITY OF BRYAN DOES CROSS LOT 1N AS SHOWN HEREON.
 - (3530/324 OPRBCT) 15' WIDE WELLBORN WATER SUPPLY CORPORATION EASEMENT DOES CROSS THIS PROPERTY BUT IS CENTERED ON WATER LINES AS INSTALLED AND COULD NOT BE PLOTTED HEREON AT THE TIME OF THIS SURVEY. UNDERGROUND WATER LINES WERE NOT LOCATED AT THE TIME OF THIS SURVEY AND SHOULD BE LOCATED TO PLACE THE LOCATION OF THIS EASEMENT.
 - (3584/323 OPRBCT) 20' WIDE ELECTRIC RIGHT OF WAY EASEMENT TO BRYAN TEXAS UTILITIES DOES CROSS THESE LOTS AS SHOWN HEREON.
 - ALL OTHER ITEMS ARE NOT SURVEY ITEMS AND/OR ARE NOT ADDRESSED BY THIS PLAT.
 - PRIVATE DRAINAGE EASEMENTS TO BE MAINTAINED BY THE OWNER OF THE LOT IN WHICH THEY LIE.

PRELIMINARY, THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT.

OWNER: MARK WYNN AND AMY WYNN
 2647 PEACH CREEK ROAD, COLLEGE STATION, TEXAS 77845

FINAL PLAT
 OF
RAY COWART DIVISION
LOTS 1N-R, 2N-R, AND 3N-R
 BEING A REPLAT OF
 RAY COWART DIVISION
 LOTS 1N, 2N, AND 3N
 VOLUME 3320, PAGE 131 OPRBCT
 20.50 ACRES
 STERRETT D. SMITH LEAGUE SURVEY, ABSTRACT 210
 BRAZOS COUNTY, TEXAS



"When one person stands to gain over another, the facts must be uncovered"

SCALE: 1 INCH = 60 FEET
 SURVEY DATE: 09-18-2023
 JOB NUMBER: 23-863 | CAD NAME: 23-863-5 RP
 POINT FILE: BARKER-GRID (cont); 23-863 (job)
 DRAWN BY: TIF CHECKED BY: MK
 PREPARED BY: KERR SURVEYING, LLC
 TPBELS FIRMA10018500
 1718 BRIARCREST DRIVE, BRYAN, TEXAS 77802
 PHONE: (979) 268-3195
 SURVEYS@KERRSURVEYING.NET | KERRLANDSURVEYING.COM

FIELD NOTES DESCRIPTION OF A 20.50 ACRE TRACT STERRETT D. SMITH LEAGUE SURVEY, ABSTRACT 210 BRAZOS COUNTY, TEXAS

A FIELD NOTES DESCRIPTION OF 20.50 ACRES IN THE STERRETT D. SMITH LEAGUE SURVEY, ABSTRACT 210, IN BRAZOS COUNTY, TEXAS, BEING ALL OF LOTS 1N, 2N, AND 3N, RAY COWART DIVISION AS SHOWN ON THE REPLAT FILED IN VOLUME 3320, PAGE 131 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS (OPRBCT), AND SAME BEING ALL OF A CALLED 20.498 ACRE TRACT OF LAND DESCRIBED IN A DEED TO MARK WYNN AND AMY WYNN IN VOLUME 2396, PAGE 176 (OPRBCT); SAID 20.50 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING at a 3/8 inch iron rod found bent on the northwest margin of Peach Creek Road (a county maintained public road; right-of-way appears to be prescriptive in nature) marking the northeast corner of a called 6.17 acre portion of Tract 'O' of said Ray Cowart Division filed in Volume 300, Page 299 of the Deed Records of Brazos County, Texas (DRBCT), said portion described in a deed to Russell A. Luedke & Karen J. Guyton in Volume 10673, Page 15 (OPRBCT); for reference the City of College Station monument C594-162 bears N 26° 07' 23" E a distance of 55.35 feet;

THENCE, with the north line of said Tract 'O' and the south line of said Lot 1N, 5 88° 10' 27" W a distance of 1,028.30 feet to a 1/2 inch iron rod found on the east line of Tract 'D-2' marking the northwest corner of said portion of Tract 'O'; for reference a 1/2 inch iron rod found marking the southeast corner of said Tract 'D-2' bears S 03° 28' 38" E a distance of 181.46 feet;

THENCE, with the east lines of Tracts 'D-2', 'Q-2', and 'E-2' and the west lines of said Lots 1N and 2N, N 03° 28' 38" W, passing at a distance of 380.49 feet a 5/8 inch iron rod found marking the common west corner of said Lots 1N and 2N, and continuing on for a total distance of 732.23 feet to a point for corner on the east line of said Tract 'E-2' being the southwest corner of Tract 'M' described as a 20.479 acre tract in a deed to John H. Knesek and Dianne M. Knesek in Volume 3586, Page 125 (OPRBCT) and the northwest corner of said Lot 2N, from which a 1 inch iron pipe found bears N 86° 30' 57" E a distance of 0.53 feet;

THENCE, with the south line of said Tract 'M' and the north lines of said Lots 2N and 3N, N 86° 30' 57" E, passing at a distance of 993.25 feet a 5/8 inch iron rod found with yellow plastic cap stamped "KERR 4502" marking the north common corner of said Lots 2N and 3N, and continuing on for a total distance of 1,364.88 feet to a 1/2 inch iron rod found bent in concrete on said northwest margin of Peach Creek Road marking the southeast corner of said Tract 'M' and the northeast corner of said Lot 3N;

THENCE, with said northwest margin of Peach Creek Road, with the southeast lines of said Lots 3N and 2N, S 22° 00' 13" W, passing at a distance of 209.72 feet a point being the east common corner of said Lots 3N and 2N from which a 5/8 inch iron rod found bears N 84° 41' 52" E a distance of 2.42 feet, and continuing on for a total distance of 285.10 feet to a 1/2 inch iron rod set with blue plastic cap stamped "KERR SURVEYING";

THENCE, with said northwest margin of Peach Creek Road, with the southeast lines of said Lots 2N and 1N, S 19° 32' 10" W, passing at a distance of 94.61 feet a 5/8 inch iron rod found marking the east common corner of said Lots 2N and 1N, and continuing on for a total distance of 548.30 feet to the POINT OF BEGINNING hereof and containing 20.50 acres of land, more or less. Surveyed on the ground October 2023 under my supervision.

BRAZOS COUNTY SUBDIVISION REGULATION NOTES:

- NO STRUCTURE OR LAND WITHIN THIS PLAT SHALL HEREAFTER BE LOCATED OR ALTERED WITHOUT FIRST OBTAINING A DEVELOPMENT PERMIT FROM THE BRAZOS COUNTY FLOODPLAIN ADMINISTRATOR.
- THE MINIMUM LOWEST FINISHED FLOOR ELEVATION SHALL BE ONE (1) FOOT HIGHER THAN THE HIGHEST SPOT ELEVATION THAT IS LOCATED WITHIN FIVE (5) FEET OUTSIDE THE PERIMETER OF THE BUILDING, OR TWO (2) FEET ABOVE THE BASE FLOOD ELEVATION (BFE), WHICHEVER IS HIGHER.
- RURAL MAILBOXES SHALL BE SET FIVE (5) FEET FROM THE EDGE OF PAVEMENT OR BEHIND CURBS, WHEN USED. ALL MAILBOXES WITHIN COUNTY ARTERIAL RIGHT-OF-WAY SHALL MEET THE CURRENT TxDOT STANDARDS. ANY MAILBOX THAT DOES NOT MEET THIS REQUIREMENT MAY BE REMOVED BY BRAZOS COUNTY.
- FOR SINGLE-FAMILY RESIDENTIAL DEVELOPMENTS, MULTI-UNIT RESIDENTIAL DEVELOPMENTS OR MANUFACTURED HOME COMMUNITIES, NEIGHBOR DELIVERY AND COLLECTION BOX UNITS ("NDCBUS"), OR COMMUNITY MAILBOXES, SHALL BE REQUIRED. IF POSSIBLE, THESE MAILBOX UNITS SHOULD BE INSTALLED ON LOW VOLUME INTERSECTING ROADWAYS OR ON PRIVATE PROPERTY. LOCATIONS FOR THE NDCBUS SHALL BE SHOWN ON THE CONSTRUCTION PLANS.
- IN APPROVING THIS PLAT BY THE COMMISSIONER'S COURT OF BRAZOS COUNTY, TEXAS, IT IS UNDERSTOOD THAT THE BUILDING OF ALL ROADS, AND OTHER PUBLIC THOROUGHFARES AND ANY BRIDGES OR CULVERTS NECESSARY TO BE CONSTRUCTED OR PLACED IS THE RESPONSIBILITY OF THE OWNER(S) OF THE TRACT OF LAND COVERED BY THIS PLAT IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS PRESCRIBED BY THE COMMISSIONER'S COURT OF BRAZOS COUNTY, TEXAS. SAID COMMISSIONER'S COURT ASSUMES NO OBLIGATION TO BUILD ANY OF THE ROADS, OR OTHER PUBLIC THOROUGHFARES SHOWN ON THIS PLAT, OR OF CONSTRUCTION ANY OF THE BRIDGES OR DRAINAGE IMPROVEMENTS IN CONNECTION THEREWITH. THE COUNTY WILL ASSUME NO RESPONSIBILITY FOR DRAINAGE WAYS OR EASEMENTS IN THE SUBDIVISION, OTHER THAN THOSE DRAINING OR PROTECTING THE ROAD SYSTEM.
- IT IS THE RESPONSIBILITY OF THE OWNER, NOT THE COUNTY, TO ASSURE COMPLIANCE WITH THE PROVISIONS OF ALL APPLICABLE STATE, FEDERAL AND LOCAL LAWS AND REGULATIONS RELATING TO THE PLATTING AND DEVELOPMENT OF THIS PROPERTY.
- THE COUNTY ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF REPRESENTATIONS BY THE OTHER PARTIES IN THIS PLAT. FLOODPLAIN DATA, IN PARTICULAR, MAY CHANGE. IT IS FURTHER UNDERSTOOD THAT THE OWNERS OF THE TRACT OF LAND COVERED BY THIS PLAT MUST INSTALL AT THEIR OWN EXPENSE ALL TRAFFIC CONTROL DEVICES AND SIGNAGE THAT MAY BE REQUIRED BEFORE THE ROADS IN THE SUBDIVISION HAVE FINALLY BEEN ACCEPTED FOR MAINTENANCE BY THE COUNTY.

8. BUILDING SETBACKS TO BE IN ACCORDANCE WITH BRAZOS COUNTY SUBDIVISION REGULATIONS:

FRONT SETBACK 25 FEET
 SIDE SETBACK 7.5 FEET
 REAR SETBACK 20 FEET

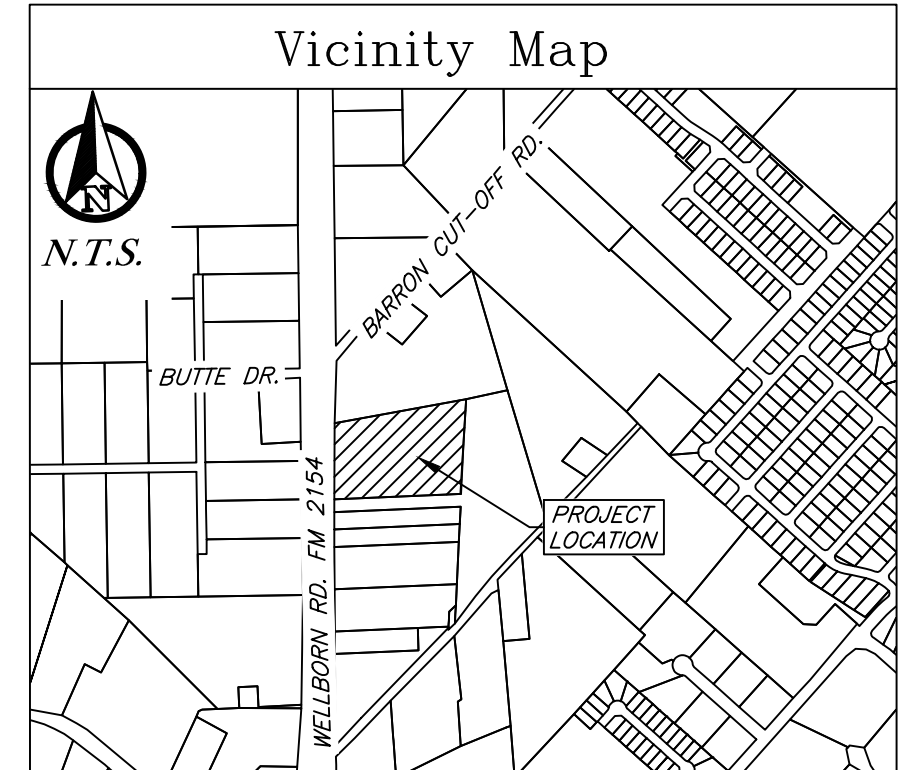
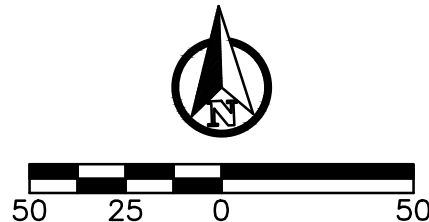
LINE	BEARING	DISTANCE	LINE	BEARING	DISTANCE
DE1	N 03°28'38" W	166.45'	DE19	S 50°48'41" W	23.91'
DE2	N 63°47'11" E	135.21'	DE20	S 89°16'42" W	269.99'
DE3	N 50°24'41" E	83.54'	DE21	S 58°58'12" W	25.04'
DE4	N 41°43'17" E	123.05'	DE22	S 73°19'22" W	46.70'
DE5	N 53°32'29" E	61.30'	DE23	N 88°12'24" W	202.86'
DE6	N 86°30'57" E	330.93'	DE24	N 03°28'38" W	16.59'
DE7	N 86°30'57" E	392.79'	DE25	N 86°30'57" E	137.86'
DE8	S 35°52'16" W	54.93'	DE26	N 86°30'57" E	425.55'
DE9	S 52°26'32" W	68.89'	DE27	N 86°30'57" E	77.75'
DE10	S 38°54'54" W	50.54'	DE28	S 19°32'10" W	162.05'
DE11	S 07°22'03" W	25.92'	DE29	S 19°32'10" W	149.73'
DE12	S 45°29'09" W	85.44'	DE30	N 34°51'48" W	13.84'
DE13	S 59°27'32" W	83.27'	DE31	N 14°41'45" W	31.53'
DE14	S 61°17'06" W	56.05'	DE32	N 09°01'57" E	45.97'
DE15	S 50°44'01" W	38.49'	DE33	N 11°06'48" W	64.53'
DE16	S 41°50'59" W	57.70'	DE34	N 15°13'03" E	132.41'
DE17	S 27°55'32" W	29.36'	DE35	N 22°29'29" E	100.66'
DE18	S 32°25'18" W	45.95'	DE36	N 37°20'08" E	51.56'

OSSF NOTES:

SANITARY SEWER SERVICE WILL BE BY ON-SITE SANITARY SEWER FACILITIES (OSSF). ALL LOTS SERVED BY OSSF MUST COMPLY WITH COUNTY AND STATE OSSF REGULATIONS. ALL OSSF CONSTRUCTION MUST HAVE AN "AUTHORIZATION TO CONSTRUCT" PERMIT ISSUED BY THE BRAZOS COUNTY HEALTH DEPARTMENT. THIS PERMIT ENSURES COMPLIANCE WITH COUNTY ORDER ADOPTED BY THE COMMISSIONER'S COURT OF BRAZOS COUNTY, PURSUANT TO THE PROVISIONS OF SECTION 21.084 OF THE TEXAS WATER CODE.

- ALL LOTS WILL BE REQUIRED TO HAVE A SITE/SOIL EVALUATION ON FILE WITH THE BRAZOS COUNTY HEALTH DEPARTMENT BEFORE OSSF MAY BE CONSTRUCTED.
- OSSF DISPOSAL AREAS SHALL NOT ENROACH THE 100-FOOT OR THE 150-FOOT SANITARY ZONE OF A PRIVATE OR PUBLIC WELL, RESPECTIVELY.
- OSSF SHALL BE DESIGNED WHERE NO DAMAGE WILL OCCUR TO THE SYSTEM DURING A FLOOD.
- A PROFESSIONAL ENGINEER MUST ADDRESS TANK FLOTATION.
- ALL ELECTRICAL COMPONENTS (SUCH AS ALARMS, JUNCTION BOXES & COMPRESSORS) SHALL BE ELEVATED ABOVE THE FLOOD PLAIN.
- OSSF STORAGE TANKS SHALL NOT BE PERMITTED WITH THE 100-YEAR FLOODPLAIN.

FINAL PLAT



General Notes:

- 1. Bearing system shown hereon is based on the Texas Coordinate System of 1983, central zone (4203), grid North as established from GPS observation using the Leica Smartnet NAD83 (NA2011) EPOCH 2010 multi-year CORS Solution 2 (MYCS2).
2. Distances shown hereon are surface distances in US survey feet and decimals (ex. 363.90') unless otherwise noted. To obtain grid distances (not areas) divide by a combined scale factor of 1.00009774899337 (calculated using GEOID12B).
3. This tract does not lie within a designated 100-YR floodplain according to the FIRM Maps, Panel No. 4804C03253, revised date: May 15, 2012.
4. 1/2" iron rods with yellow plastic cap stamped "KERR Surveying" will be set at all angle points and lot corners unless otherwise stated.
5. All minimum building setbacks shall be in accordance with the City of College Station Code of Ordinances.
6. All utilities shown are approximate location.
7. This property is zoned Rural - (R).
8. Where electric facilities are installed, College Station has the right to install, operate, relocate, construct, reconstruct, add to, maintain, inspect, patrol, enlarge, repair, remove and replace said facilities upon, over, under, and across the property included in the PUE, and the right of ingress and egress on property adjacent to the PUE to access electric facilities.
9. This survey plat was prepared to reflect the title commitment issued by allegiance title, LLC, GP no. 22145356-AGLC, effective date: September 18th, 2022. Items listed on schedule b are addressed as follows:
- Item 10g: Sanitary control easement to Wellborn Water Supply Corporation in Volume 254, Page 277, DRBCT, does apply, but cannot be shown due to having no plottable objects.
- Item 10h: 20' wide pipeline easement to Wellborn Water Supply Corporation in Volume 254, Page 352, DRBCT, does apply, but cannot be shown due to having no plottable objects.
- Item 10i: Easement to the City of Bryan in Volume 332, Page 260, DRBCT, does apply, and is shown hereon.
- Item 10j: Easement to general telephone company of the southwest in Volume 470, Page 436, DRBCT, does apply, and is shown hereon.
All other items are not survey items and/or are not addressed by this plat.

FIELD NOTES DESCRIPTION OF 7.377 ACRES IN THE ANDREW MCMAHON SURVEY, ABSTRACT 167 BRAZOS COUNTY, TEXAS

BEING ALL OF A CALLED 3.37 ACRE TRACT OF LAND CONVEYED TO DAVID L. WHITT, PAUL D. WHITT AND DANIEL T. WHITT IN VOLUME 8832, PAGE 190 OF THE OFFICIAL PUBLIC RECORDS OF BRAZOS COUNTY, TEXAS (OPRBCT), AND ALL OF A CALLED 4.00 ACRE TRACT OF LAND CONVEYED TO DAVID L. WHITT IN VOLUME 6686, PAGE 263 (OPRBCT); SAID 7.377 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING, AT A 1/2 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "KERR 4502" FOUND ON THE EAST RIGHT-OF-WAY LINE OF FARM TO MARKET ROAD 2154, COMMONLY KNOWN AS WELLBORN ROAD (100' WIDE RIGHT-OF-WAY PER TXDOT RIGHT-OF-WAY PLANS), FOR THE SOUTHWEST CORNER OF A CALLED 10.00 ACRE TRACT CONVEYED TO MICHAEL P. MCCLEARY AND WIFE, DIANE E. MCCLEARY IN VOLUME 571, PAGE 124 OF THE OFFICIAL RECORDS OF BRAZOS COUNTY, TEXAS (ORBCT), FOR THE NORTHWEST CORNER OF SAID 3.37 ACRE TRACT, AND THE NORTHWEST CORNER HEREOF;

THENCE, WITH THE COMMON LINE OF SAID 10.00 ACRE TRACT AND SAID 3.37 ACRE TRACT, N 78° 44' 37" E, FOR A DISTANCE OF 730.56 FEET TO A 1/2 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "KERR 4502" FOUND ON THE SOUTHEAST LINE OF SAID 10.00 ACRE TRACT, THE NORTHWEST CORNER OF A CALLED 8.43 ACRE TRACT CONVEYED TO WELLBORN BAPTIST CHURCH, INC., AND REFERRED TO AS "TRACT ONE" IN VOLUME 6271, PAGE 20 (OPRBCT), FOR THE NORTHEAST CORNER OF SAID 3.37 ACRE TRACT, AND THE NORTHEAST CORNER HEREOF, FROM WHICH A 1/2 INCH IRON ROD FOUND AT THE NORTH CORNER OF SAID 8.43 ACRE TRACT BEARS N 78° 44' 37" E, A DISTANCE OF 237.21 FEET;

THENCE, WITH THE WEST LINE OF SAID 8.43 ACRE TRACT AND THE EAST LINES OF SAID 3.37 ACRE TRACT AND SAID 4.00 ACRE TRACT, S 02° 38' 41" W, AT A DISTANCE OF 264.08 FEET, PASSING A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "KERR 4502" FOUND FOR THE EAST COMMON CORNER OF SAID 3.37 AND 4.00 ACRE TRACTS, CONTINUING ON FOR A TOTAL DISTANCE OF 514.53 FEET TO A 1/2 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "KERR 4502" FOUND ON THE WEST LINE OF SAID 8.43 ACRE TRACT, FOR THE NORTHEAST CORNER OF A CALLED 1.11 ACRE TRACT CONVEYED TO WELLBORN BAPTIST CHURCH, INC., AND REFERRED TO AS "TRACT TWO" IN VOLUME 6271, PAGE 20 (OPRBCT), FOR THE SOUTHEAST CORNER OF SAID 4.00 ACRE TRACT, AND THE SOUTHEAST CORNER HEREOF, FROM WHICH A 1/2 INCH IRON ROD FOUND AT THE SOUTHEAST CORNER OF SAID 1.11 ACRE TRACT BEARS S 02° 06' 32" W, A DISTANCE OF 70.16 FEET;

THENCE, WITH THE COMMON LINE OF SAID 4.00 ACRE TRACT AND SAID 1.11 ACRE TRACT, S 87° 29' 23" W, FOR A DISTANCE OF 692.01 FEET TO A 5/8 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "KERR 4502" FOUND ON THE EAST RIGHT-OF-WAY LINE OF FARM TO MARKET ROAD 2154, FOR THE NORTHWEST CORNER OF SAID 1.11 ACRE TRACT, THE SOUTHWEST CORNER OF SAID 4.00 ACRE TRACT, AND THE SOUTHWEST CORNER HEREOF, FROM WHICH A 1/2 INCH IRON ROD WITH YELLOW PLASTIC CAP STAMPED "RPLS 2972" FOUND BEARS S 00° 12' 19" E, A DISTANCE OF 7.10 FEET, ALSO FROM WHICH CITY OF COLLEGE STATION MONUMENT CS94-134 BEARS S 00° 30' 55" E, A DISTANCE OF 2,122.41 FEET;

THENCE, WITH THE EAST RIGHT-OF-WAY LINE OF FARM TO MARKET ROAD 2154 AND WITH THE WEST LINES OF SAID 3.37 AND 4.00 ACRE TRACTS, N 00° 12' 11" W, AT A DISTANCE OF 249.55 FEET PASSING A 5/8 INCH IRON ROD FOUND FOR THE WEST COMMON CORNER OF SAID 3.37 AND 4.00 ACRE TRACTS, CONTINUING ON FOR A TOTAL DISTANCE OF 401.69 FEET TO THE POINT OF BEGINNING HEREOF, AND CONTAINING 7.377 ACRES OF LAND, MORE OR LESS.

SURVEYED ON THE GROUND NOVEMBER 2022 UNDER MY SUPERVISION. SEE PLAT PREPARED NOVEMBER 2022 FOR OTHER INFORMATION. THE BEARING BASIS FOR THIS SURVEY IS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM OF 1983 (NAD83), CENTRAL ZONE, GRID NORTH AS ESTABLISHED FROM GPS OBSERVATION USING THE LEICA SMARTNET NAD83 (NA2011) EPOCH 2010 MULTI-YEAR CORS SOLUTION 2 (MYCS2). DISTANCES DESCRIBED HEREIN ARE GRID DISTANCES. TO OBTAIN SURFACE DISTANCES (NOT SURFACE AREAS) MULTIPLY BY A COMBINED SCALE FACTOR OF 1.00009774899337 (CALCULATED USING GEOID12B). REFERENCE DRAWING: 22-905-TITLE.

CERTIFICATE OF OWNERSHIP AND DEDICATION

STATE OF TEXAS COUNTY OF BRAZOS I, owner and developer of the land shown on this plat, and designated herein as the Wellborn Storage Subdivision to the City of College Station, Texas, and whose name is subscribed hereto, hereby dedicate to the use of the public forever all streets, alleys, parks, greenways, infrastructure, easements, and public places thereon shown for the purpose and consideration therein expressed. All such dedications shall be in fee simple unless expressly provided otherwise.

Owner

STATE OF TEXAS COUNTY OF BRAZOS

Before me, the undersigned authority, on this day personally appeared known to me to be the person(s) whose name(s) are subscribed to the foregoing instrument, and acknowledged to me that they executed the same for the purpose and consideration therein stated. Given under my hand and seal on this day of 20__.

Notary Public, Brazos County, Texas

CERTIFICATE OF THE SURVEYOR

STATE OF TEXAS COUNTY OF BRAZOS I, Nathan Kerr, Registered Professional Land Surveyor No. 6834, in the State of Texas, hereby certify that this plat is true and correct and was prepared from an actual survey of the property and that property markers and monuments were placed under my supervision on the ground.

Nathan Kerr, R.P.L.S. No. 6834

CERTIFICATE OF CITY PLANNER

I, City Planner of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station.

City Planner College Station, Texas

CERTIFICATE OF CITY ENGINEER

I, City Engineer of the City of College Station, Texas, hereby certify that this Subdivision Plat conforms to the requirements of the Subdivision Regulations of the City of College Station.

City Engineer College Station, Texas

CERTIFICATE OF THE COUNTY CLERK

STATE OF TEXAS COUNTY OF BRAZOS I, County Clerk, in and for said county, do hereby certify that this plat together with its certificates of authentication was filed for record in my office the day of 20__ in the Deed Records of Brazos County, Texas, in Volume Page

WITNESS my hand and official Seal, at my office in Bryan, Texas.

County Clerk Brazos County, Texas

W/V Wellborn Baptist Church, Inc. 8.43 Acre Tract (Tract One, 6271/20 OPRBCT)

W/V Wellborn Baptist Church, Inc. 8.43 Acre Tract (Tract One, 6271/20 OPRBCT)

W/V Michael P. McCleary and Diane E. McCleary 10.00 Acre Tract (Tract Two, 571/124 ORBCT)

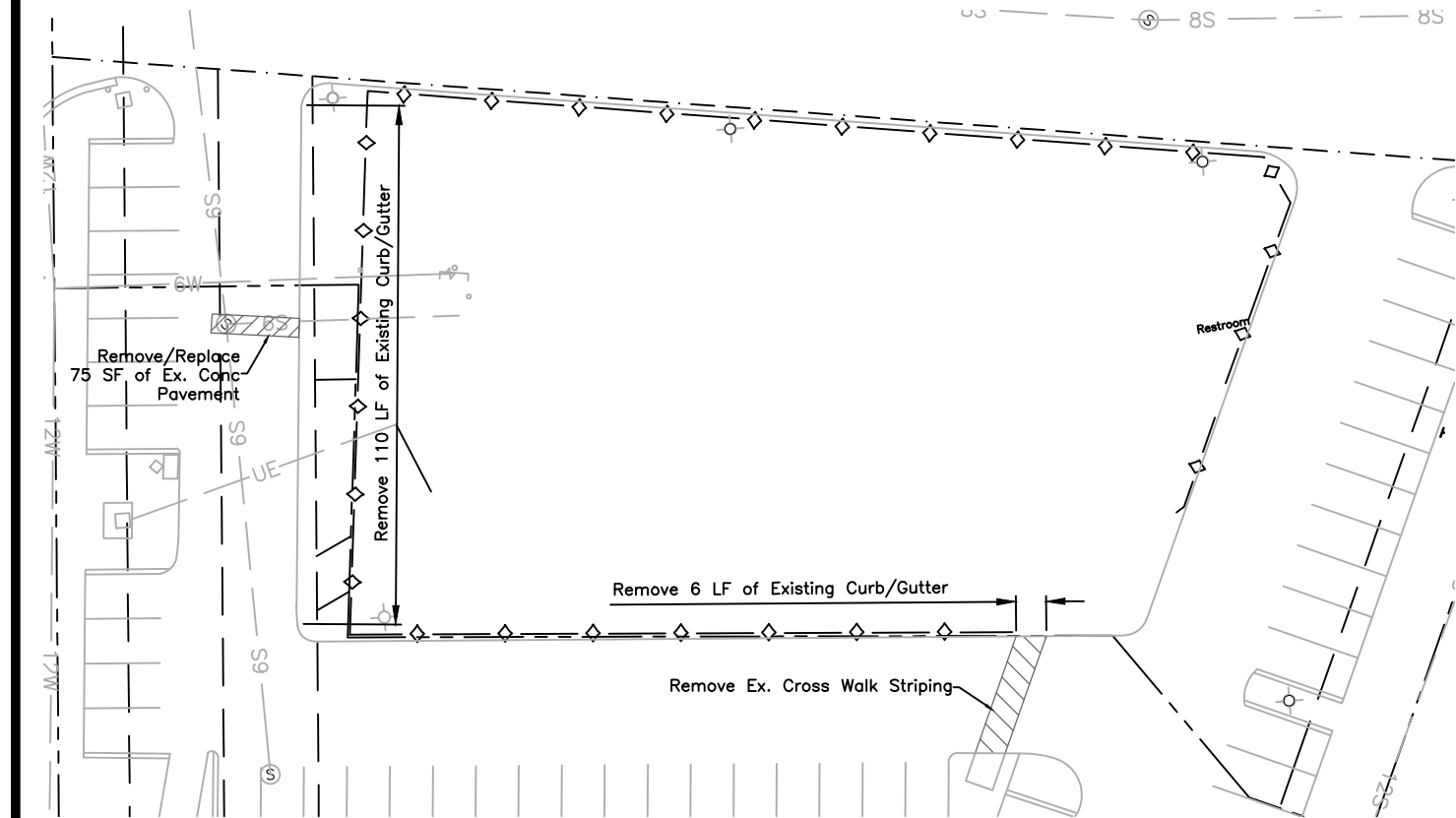
Wellborn Rd. FM 2154 (27' HWAC-100' ROW PER TXDOT ROW PLANS)

FINAL PLAT Wellborn Storage Addition Block 1, Lot 1 7.377 Acres Being a Final plat of a called 3.379 Acre Tract in Volume 8832, Page 190 OPRBCT and a called 3.998 Acre Tract in Volume 6686, Page 263 OPRBCT Andrew McMahon Survey, A-167 Volume 18475, Page 261 OPRBCT College Station, Brazos County, Texas June 2024 Owner: Wellborn Storage, LLC 3179 La Venta Way College Station, TX 77845 Engineer: IA Engineering PO Box 5192 Bryan, TX 77805 979-739-0567 TBPEL F-9951 Surveyor: Kerr Surveying, LLC 409 N. Texas Ave. Bryan, TX 77803 979-268-3195 TBPELS #10018500 Proj # 19-226

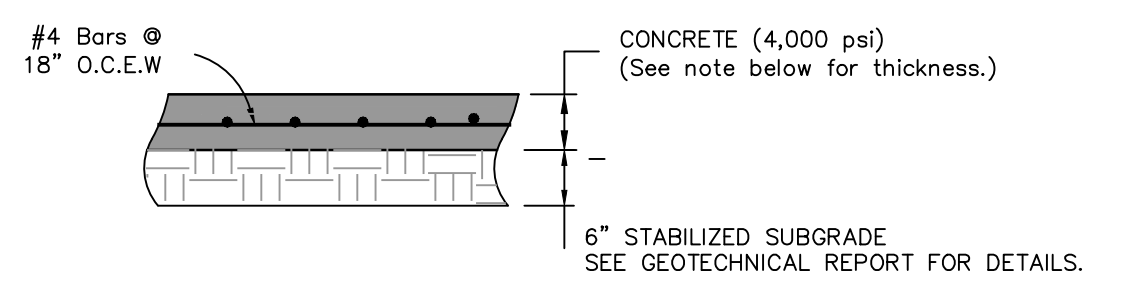
J4E Project # 22-074 Brazos M&S 6-Final Plat.dwg 6/17/2024 J4 Engineering



Site Plan
SCALE: Hor: 1" = 20'



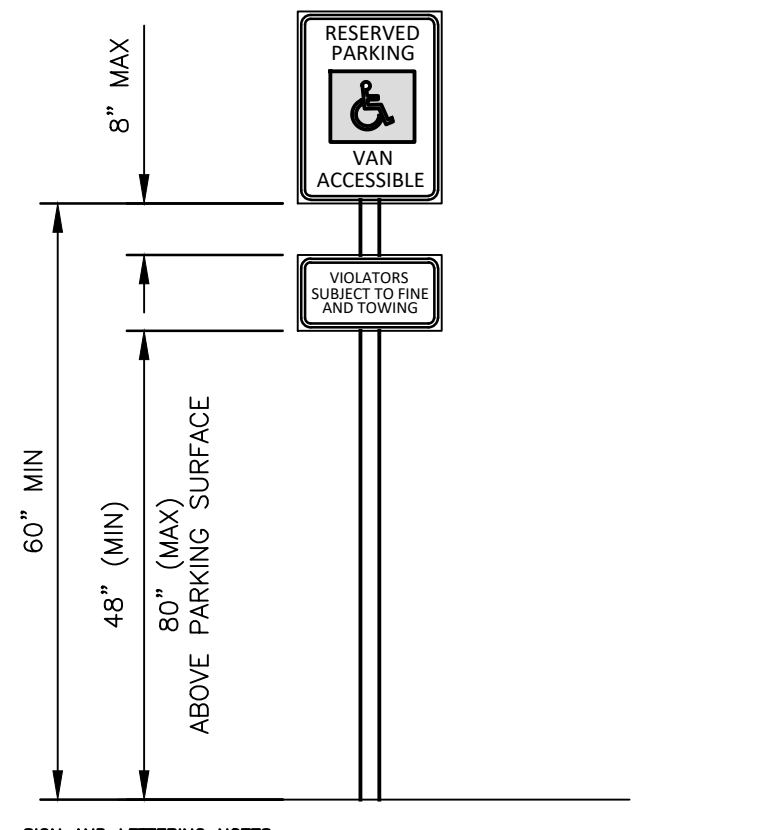
Demolition Plan
SCALE: Hor: 1" = 40'



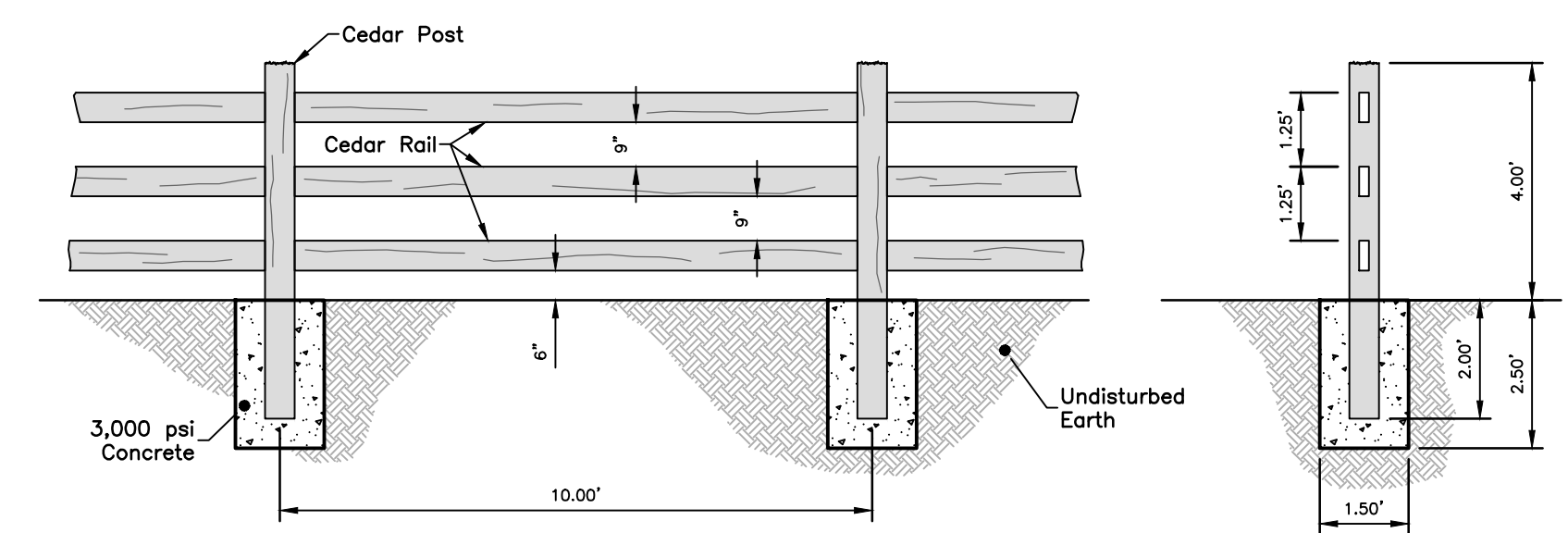
PAVEMENT SECTION

Note: Concrete thickness shall be as follows:
 A. Main Lot and drives = 6"
 B. Sidewalk = 4"
 C. Pavement sections shall be constructed in accordance with the BCS United Technical Specifications.
 D. Subgrade shall be compacted to 95% of Standard Proctor Density as per ASTM D968 at moisture content in range of the optimum moisture content to 4% above the optimum moisture content.

- Legend**
- - 1/2" Iron Rod Set
 - - 1/2" Iron Rod Found
 - - 5/8" Iron Rod Found
 - Existing Sewer Line w/ size
 - Existing Water Line w/ size
 - Proposed Sewer Line w/ size
 - Proposed Water Line w/ size
 - Existing Gas Line w/ size
 - Existing Overhead Electric Line
 - Guy Anchor
 - ▭ Paved Pathway
 - ▭ Water Feature
 - ▭ Miniature Golf Hole
 - ▭ Drainage Flow Direction
- Abbreviations**
- D.E. Drainage Easement
 - D.D.F.E. Drainage Detention Facility Easement
 - D.R. Brazos County Deed Records
 - E.A.E. Emergency Access Easement
 - F.H. Fire Hydrant
 - O.R. Brazos County Official Records
 - P.A.E. Public Access Easement
 - P.R. Brazos County Plat Records
 - P.U.E. Public Utility Easement
 - R.O.W. Right-of-Way
 - U.E. Utility Easement
 - SD. Storm Drain
 - Pr.L.E. Private Landscape Easement
 - FDC. Fire Department Connection



ADA SIGNAGE DETAIL



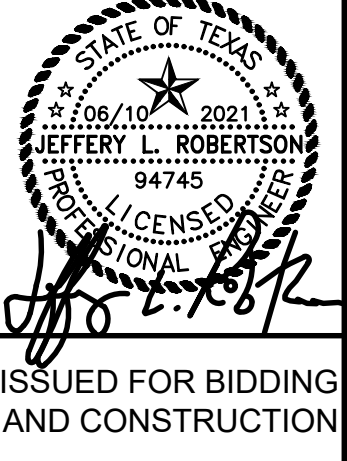
CEDAR RAIL FENCE DETAIL

- SITE PLAN NOTES:**
- This property is currently Zoned GC
 - Owner & Applicant: V V Opportunity Zone Fund LLC
 - Proposed Use: Miniature Golf
 - Acreage: 1.094 ac.
 - Parking Analysis:
Miniature Golf Course: 0.9 space per hole (from various other city standards)
Required: 16
Provided: 17
 - WATER AND SANITARY SEWER DEMANDS:**
Max Water Demand: 5 gpm
Avg Water Demand: 1 gpm
Min Water Demand: 0 gpm
Avg Sewer Demand: 2,300 gal/day
 - FIRE FLOW REQUIREMENTS**
NA
 - Legal Description--Lot 10B, Block 1, The Gateway Phase 1 Subdivision, City of College Station, according to the plat thereof recorded in Volume 15809, Page 216, Official Records, Brazos County, Texas.
 - BASIS OF BEARINGS**
The bearing system and actual measured distance to the monuments are consistent with the recorded plat in Volume 5996, Page 198, Official Records of Brazos County, Texas.
 - According to the Flood Insurance Rate Maps for Brazos County, Texas and Incorporated Areas, Map Number 48041C0215E, Map Revised April 2, 2014, this property is located in a Special Flood Hazard Area.
 - See Site Civil drawings for additional grading, layout information, Utility layout and Stormwater Pollution Prevention Plan.
 - Building Setbacks shall comply with the City of College Station Standards of the Unified Development GC zoning:
Front Setback = 25'
Side Setback = 7.5'
Street Side Setback = 15'
Rear Setback = 15'
 - All roof and ground-mounted mechanical equipment shall be screened from view or isolated so as not to be visible from any public right-of-way or residential district within 150' of the subject lot, measured from a point five feet above grade. Such screening shall be coordinated with the building architecture and scale to maintain a unified appearance.
 - Irrigation system to be installed by others. Irrigation system must be protected by either a Pressure Vacuum Breaker, a Reduced Pressure Principle Back Flow Device, or a Double-Check Back Flow Device and installed as per City Ordinance 2394.
 - All Backflow devices shall be installed and tested upon installation as per City Ordinance 2394.
 - All required signage shall be permitted separately.
 - Exterior building and site lighting will meet the standards of Section 7.11 of the Unified Development Ordinance. The light source below an opaque housing and no fixture shall directly project light horizontally. Fixtures will be mounted in such a manner that the projected cone of light does not cross any property line.
 - The City shall not be responsible for repairs to parking lot lights or retaining walls that are located in existing utility easements should maintenance/replacement of their associated utilities be deemed necessary.
 - Contractor shall provide one (1) week advance notice to City prior to connecting to existing waterlines and shall coordinate the water line connections with the Utility Dept. and City Inspector.
 - 100% coverage of groundcover, decorative rock, or a perennial ground cover is required in parking lot islands, swales and drainage areas, the parking lot setback, rights-of-way, and adjacent property disturbed during construction.
 - Solid waste to be disposed of by existing dumpsters.
 - All landscaping installed around a transformer box shall maintain a 3' clearance from sides and rear and 10' clearance from transformer doors.
 - This site is part of the building plot with the Lot 10A, Block 1, The Gateway Phase 1.

- GENERAL CONSTRUCTION NOTES:**
- It shall be the responsibility of the Contractor to verify the exact location of all existing underground utilities. Furthermore, the Contractor shall contact all utility company representatives a minimum of 48 hours in advance of any excavation.
A. Contact Texas811 @ 811
C. Contact City of College Station @ 979-764-3570
 - Construction within Public Right-of-Ways and easements must equal or exceed the BCS Unified Technical Specification and Standard Construction Details. All inspections shall be coordinated with the staff of the City Engineer of College Station.
 - In lieu of using the construction materials indicated in these plans, the Contractor shall obtain written approval from the Engineer for any substitution.
 - Trench Safety Requirements shall be in accordance with O.S.H.A. Standard 29 CFR Part 1926 Subpart P.
 - TRENCHING AND BACKFILLING:** The backfilling of all trenches within structural areas shall be accomplished with cement stabilized sand placed to within 6" of paving sub-grade. The backfilling of all trenches outside of structural areas shall be placed so as to achieve 85 percent Modified Proctor Density. All backfilling shall be between optimum and 4 percent (4%) above optimum moisture content. Testing shall be provided by a certified laboratory at the Owner's expense to verify these conditions. Any retesting due to substantial work shall be at the expense of the Contractor. Structural areas shall include all sidewalks and paved areas. For streets, alleys and parking areas, the limits of the structural areas shall extend 5' beyond the curb lines or other paved areas.
 - It is the responsibility of the contractor to comply with all State and Federal Regulations regarding construction activities near energized overhead power lines. Additionally, the contractor shall coordinate all proposed work and procedures with the City of College Station Electrical Division.
 - Where a contradiction between plans and specifications occur, the plans shall be ruled as superior.
 - Trenches may be left open overnight if properly barricaded to prevent pedestrian access.
 - It shall be the responsibility of the Contractor to file a NOI with the TCEQ and coordinate with City staff.
 - Contractor shall adjust all existing manholes and valve boxes to final grades. There will be no separate pay item for this work.
 - It is the responsibility of the contractor to contact the inspector at least 24 hours prior to beginning construction work.

- TRAFFIC/HANDICAP SIGN INSTALLATION NOTES:**
- All signs shall be posted on 8'-6", 2-1/2" outside diameter Galvanized Steel Pipe Signposts that weigh two (2) pounds per linear foot. These signposts shall be placed a minimum of 2.5 to 3.0 feet into the ground in a dug or drilled one-foot diameter hole. The sign-post shall be placed vertically plumb in the center of the hole and secured with a minimum of two (2) sacks of sackrete. The concrete mix shall be hand tamped as necessary.
 - All traffic signs shall be installed so that the bottom of each sign shall be at least seven (7) feet above the ground at the base of the signpost or above an adjacent travelway. All traffic signposts shall be installed 24" inches from the travelway. Handicapped Parking Signs and Fire Lane Signs shall be installed a minimum of five (5) feet above the ground at the base of the sign, and 12" from the travelway or sidewalk.
 - The hardware used to attach the signs to the signposts shall be the same as that currently used by the City of College Station.

- STRIPING NOTES:**
- Contractor shall be responsible for the layout of the Parking Area striping plan in the field and stripes as shown on this sheet. All markings shall be white.
 - All point, glass beads and application rates shall conform to TxDOT Item 665, ReflectORIZED Pavement Markings, Type II Marking Materials.
 - All Parking Space Limit Lines shall be solid white lines 6" wide.
 - All marking/striping shall conform to current specifications of the Texas Manual on Uniform Traffic Control Devices, the TEXAS ACCESSIBILITY STANDARDS (TAS) of the Architectural Barriers Act [Article 9102, Texas Civil Statutes] from the Texas Department of Licensing and Regulation and Ordinance No. 2159 Chapter 6 Section 1 (B)(4) Subsection 602.6.8 (a) City of College Station Code of Ordinances.
 - Fire Lane curbs shall be marked "FIRE LANE - NO PARKING - TOW AWAY ZONE". Wording may not be spaced more than fifteen feet (15') apart.



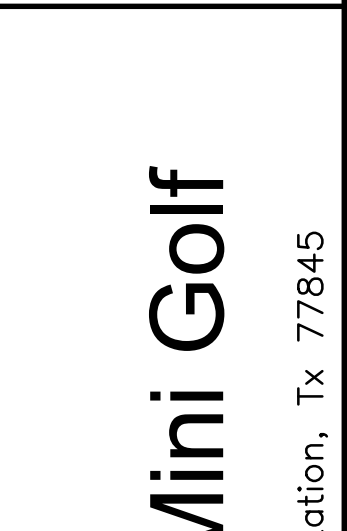
ISSUED FOR BIDDING AND CONSTRUCTION

DESIGNED BY: ml
CHECKED BY: jr

DATE: 09/14/2020 DRAWN BY: ml

REVISIONS	DATE	DESCRIPTION
1	2021-09-30	Revised per City Comments
2	2021-11-15	Revised per City Comments
3	2021-12-03	Revised per City Comments

MCCLURE & BROWNE
ENGINEERING/SURVEYING, INC.
Engineer Reg. No. F-458; Survey Reg. No. 10103-300
1008 Woodcreek Dr., Suite 103
College Station, TX 77845; (979) 699-3838



Site Plan
Kraken's Revenge Mini Golf
508 Earl Rudder Freeway S., College Station, Tx 77845
SHEET NO.
G1.1