

Site Design Standards



CITY OF COLLEGE STATION
Planning & Development Services

April 2014

Table of Contents

Introduction	4
Applicability	4
Purpose & Intent	4
Waivers	4
Pavement and Surfacing Standards	5
Pavement & Surfacing	5
Curbs	6
Driveway Requirements	7
Fire Service Standards	9
Fire Hydrants	9
Fire Department Connection	9
Fire Flow Requirements	10
Fire Apparatus Access Roads (Fire Lanes)	11
Aerial Fire Apparatus Access Roads	12
Fire Lane Markings	12
Fire Apparatus Access Road Gates	13
Solid Waste Standards	14
Dimensions of the Containers	14
Pavement Standards	14
Required Screening	14
Minimum Dimensions for Enclosures	15
Access	17
Dimensions for Maneuvering	18
Sign Standards	19
Sign Visibility	19
Determining Sign Area	19
Non-Residential Architectural Standards	20
Submittal Requirement	20
Bicycle Parking	20
Tree Wells	22
Approved Color Palette	23
Landscape & Streetscape Standards	40
Submittal Requirement	40
Tree Preservation	40
Planting List	42
Northgate Specific Standards	47
Bicycle Racks	47
Brick Pavers and Approved Patterns	47
Required Street Tree Options	48
Street Tree Soil	48
Tree Planters	50
Tree Grates	51
Tree Wells	51
Sidewalk Benches	52
Trash Receptacles	52

Table of Contents

Northgate Outdoor Dining Standards	53
Physical Barrier	53
Miscellaneous Site Development Standards	54
Gating of Multi-Family Developments	54
General Site Plan Notes	55
Site Plan Submittal Standards	56

Introduction

Site Design Minimum Standards for Commercial and Multi-Family Projects

Applicability

The following site design standards shall be used in the development and redevelopment of all commercial and multi-family sites in the City of College Station.

No development approval shall be granted, nor building permit issued, for a development that does not meet the minimum requirements of these Design Standards, except as provided herein.

Purpose and Intent

The purpose of the City of College Station Site Design Standards is to establish and provide the minimum standards to be adhered to in the design and construction of all commercial and multi-family private improvements. It is the intent to obtain high quality construction throughout, with the completed work complying with the Site Design Standards.

If required by the Administrator, the Contractor shall furnish satisfactory evidence (including reports or tests) as to the kind and quality of materials to be used.

Waiver to the Standards

A waiver to the standards may be approved by the Administrator if it is demonstrated that the materials and design are equal or superior to the requirements stated herein.

Pavement and Surfacing Standards

Pavement and Surfacing

Except as otherwise provided, all off-street parking areas, including drive aisles, driveways and parking stalls, shall be constructed with a minimum allowable parking lot pavement of one of the following options:

- **Asphalt** - a minimum of one and one-half inches (1.5") of asphalt pavement on top of six inches (6") of limestone base.
- **Concrete** - a minimum of five inches (5") thick; reinforcement within the concrete section shall consist of number four (#4) bars on eighteen inch (18") centers, centered within the pavement thickness.

All off-street parking areas shall be installed graded to drain and shall be maintained so as to dispose of surface water accumulated within the area. Parking spaces shall be arranged and marked so as to provide for the safe and orderly parking of vehicles.

Non-Public, All-Weather drive surfaces, whether temporary or permanent, that are required for emergency access or turnaround for emergency vehicles must be constructed to function under all weather conditions. To accommodate a project during construction, phasing, or permanent installation, drive surfaces that do not meet the requirements for permanent pavement surfaces may be allowed at the discretion of the Administrator for the specific conditions stated below:

- **Temporary All-Weather Surface (During Construction):** A structure under construction must be accessible by an all-weather drive surface. This surface may consist of the permanent pavement as described above, or may consist of four inches (4") of limestone base with a one-course seal coat as specified in the Texas Department of Transportation Standard Specifications for Construction of Highways, Streets and Bridges, 1993 Edition, Item 316. This temporary all-weather surface must be reworked or replaced to meet the permanent pavement standard as described above prior to issuance of a Certificate of Occupancy.
- **Semi-Permanent All-Weather Surface (During Phasing):** In cases during phasing of a large project, emergency access and turnarounds often must be added as a temporary measure until additional phases are constructed. These emergency access areas may consist of permanent pavement surface as described above, or may consist of six inches (6") of limestone base with one-course seal coat as specified in the Texas Department of Transportation Standard Specifications for Construction of Highways, Streets and Bridges, 1993 Edition, Item 316. If the semi-permanent surface is used, the six-inch (6") curb is not required, and these areas must be gated or protected from public usage and signed for emergency access only. When the additional phase is constructed these areas must be removed or reworked to meet the permanent pavement standards as described above.

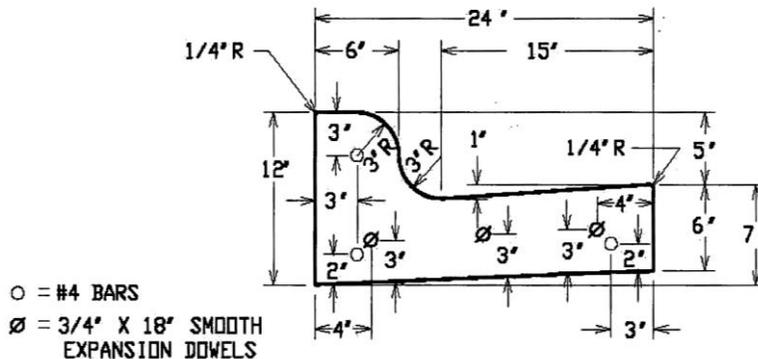
Pavement and Surfacing Standards

- Permanent All-Weather Surface (Permanent):** In some development scenarios, an emergency access or turnaround must be constructed to meet emergency access purposes and is not required for public traffic, service vehicles or sanitation vehicles. In these cases, the area required for emergency access only may consist of permanent pavement surface as specified above, or may consist of six inches (6") of limestone base with a two-course seal coat as specified in the Texas Department of Transportation Standard Specifications for Construction of Highways, Streets and Bridges, 1993 Edition, Item 316. If the seal coat surface is used, a six-inch (6") curb is not required, and these areas must be gated or protected from public usage and signed for emergency access only.

Curbs

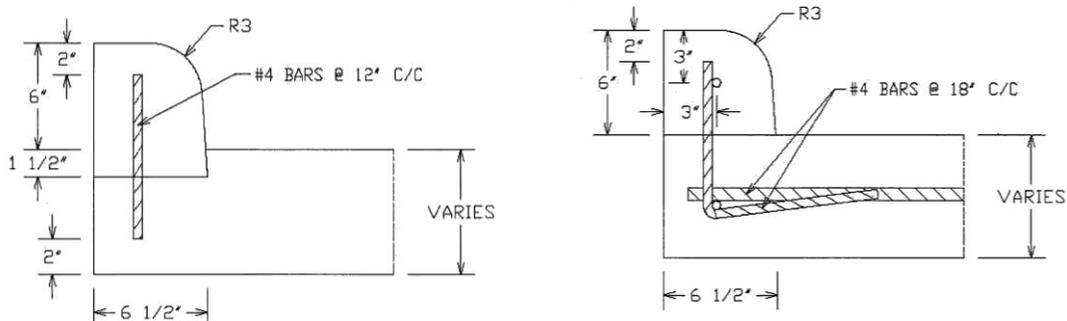
A six inch (6") raised monolithic concrete curb shall be required around the entire perimeter of all paved areas, including all parking islands. Design of the combined curb and gutter section must meet minimum standards as shown in the diagram below:

NOTE:
 TYPE 'G' EXPANSION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 60' APART AND AT ALL RADIUS POINTS, P. T. 'S AND P. C. 'S, TYPE 'B' CONTRACTION JOINTS IN CURB & GUTTER SHALL BE SPACED AT A MAXIMUM DISTANCE OF 10' APART.



Temporary Curbing

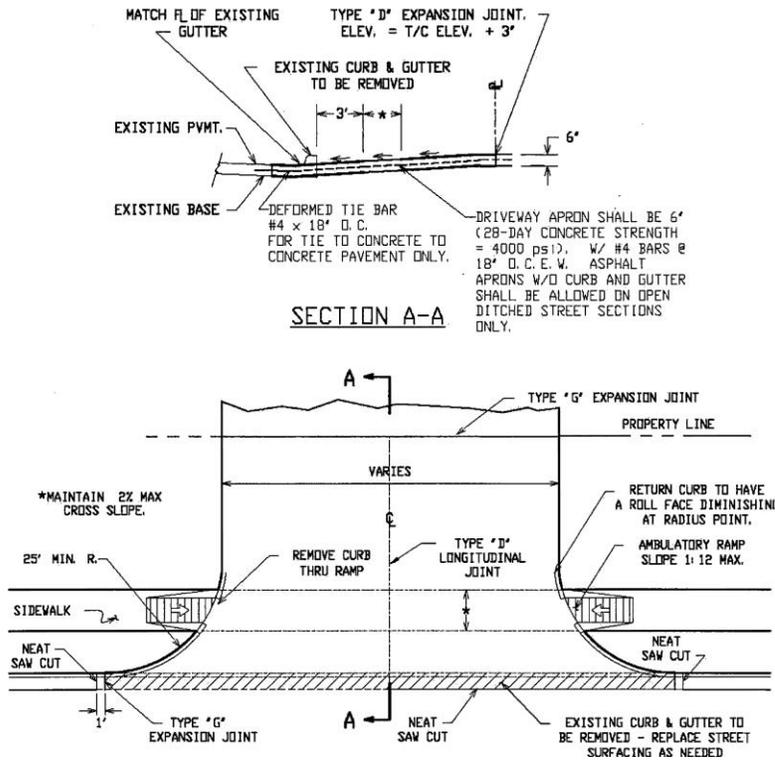
A temporary six inch (6") raised concrete curb may be permitted in lieu of the minimum standard stated above, at the discretion of the Administrator, when a project is phased in such a way that a permanent, monolithic curb may preclude development of future phases or limit access to a recorded private or public access easement adjoining properties. Wheel stops shall not be permitted as temporary curbing. Temporary curbing must have the appearance of permanent curbing and shall be temporarily attached to the pavement surfacing below and meet the minimum standards for dowelled in curbs as shown in the diagrams below:



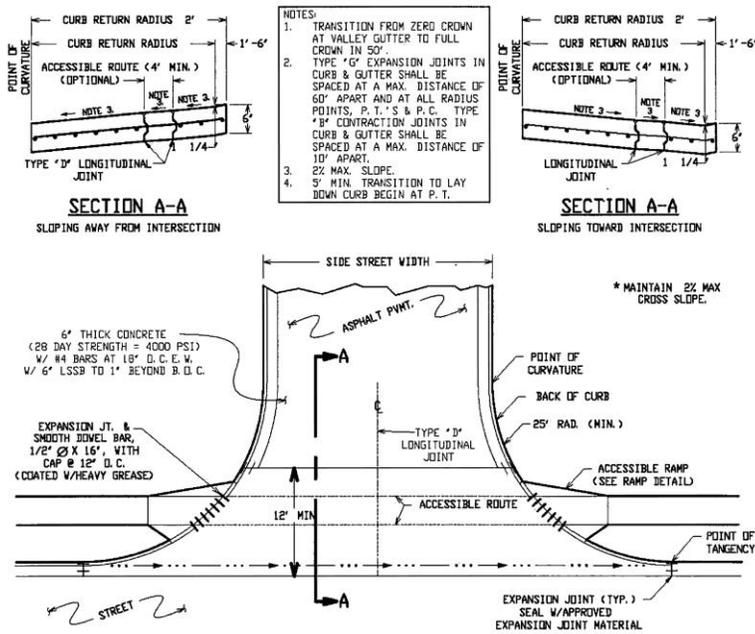
Pavement and Surfacing Standards

Driveway Requirements

Commercial Driveways shall be constructed to the standard shown in the detail below:

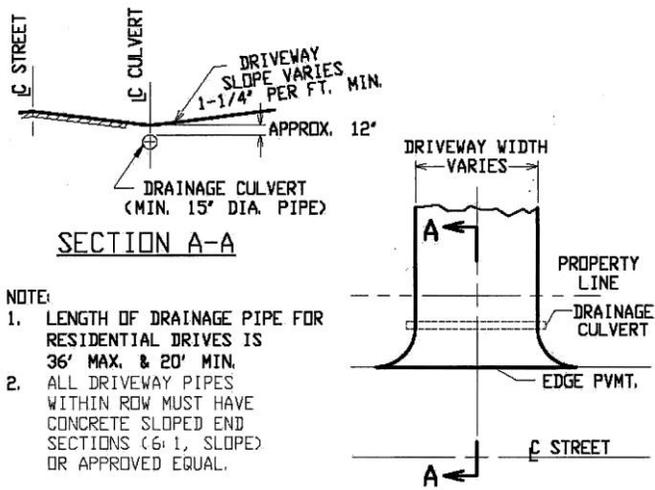


Detail of a typical Concrete Driveway Apron:



Pavement and Surfacing Standards

Detail of driveway with culvert:



Fire Service Standards

All fire service features, including, but not limited to, apparatus access roadways, fire flows, and fire hydrant locations and distribution must meet the International Fire Code, as adopted and amended.

Fire Hydrants

Fire hydrants must be placed along an approved fire lane. Hydrants shall be located so that no part of any structure, above ground tanks or fueling stations shall be more than three hundred feet (300') from a fire hydrant as measured along an approved fire lane as the fire hose is laid off the fire truck. In no case shall this distance be measured across grass, wooded or landscaped areas, over curbs, through fences, through ditches or across paved areas which are not designed and maintained as fire lanes.

No part of any commercial structure shall be located outside the limits of a one hundred fifty foot (150') arc from a point where fire apparatus can operate.

Fire hydrants must be located on the same side of a public street as the structures it is intended to serve, and must be accessible at all times. Parking stalls are not permitted to be located between the fire hydrant and the fire apparatus access road. A three foot (3') clear space is required on all sides of the fire hydrant.

The number and spacing of fire hydrants shall not be less than shown in the following chart.

NUMBER AND DISTRIBUTION OF FIRE HYDRANTS

FIRE-FLOW REQUIREMENT (gpm)	MINIMUM NUMBER OF HYDRANTS	AVERAGE SPACING BETWEEN HYDRANTS ^{a, b, c} (feet)	MAXIMUM DISTANCE FROM ANY POINT ON STREET OR ROAD FRONTAGE TO A HYDRANT ^d
1,750 or less	1	500	250
2,000-2,250	2	450	225
2,500	3	450	225
3,000	3	400	225
3,500-4,000	4	350	210
4,500-5,000	5	300	180
5,500	6	300	180
6,000	6	250	150
6,500-7,000	7	250	150
7,500 or more	8 or more ^e	200	120

For SI: 1 foot = 304.8 mm, 1 gallon per minute = 3.785 L/m.

a. Reduce by 100 feet for dead-end streets or roads.

b. Where streets are provided with median dividers which can be crossed by fire fighters pulling hose lines, or where arterial streets are provided with four or more traffic lanes and have a traffic count of more than 30,000 vehicles per day, hydrant spacing shall average 500 feet on each side of the street and be arranged on an alternating basis up to a fire-flow requirement of 7,000 gallons per minute and 400 feet for higher fire-flow requirements.

c. Where new water mains are extended along streets where hydrants are not needed for protection of structures or similar fire problems, fire hydrants shall be provided at spacing not to exceed 1,000 feet to provide for transportation hazards.

d. Reduce by 50 feet for dead-end streets or roads.

e. One hydrant for each 1,000 gallons per minute or fraction thereof.

Fire Service Standards

Fire Department Connection (FDC)

All buildings, or portions of buildings, 12,000 square feet in area or larger, per the International Building Code, as amended, and/or all structures exceeding two stories in height, regardless of area, are required to utilize an automatic sprinkler system throughout the building. Portions of buildings that are separated by fire walls without openings, constructed in accordance with the International Building Code, may not require an automatic sprinkler system if smaller than 12,000 square feet in area. Some assembly uses intended for food and/or drink consumption including, but not limited to banquet halls, night clubs, restaurants, taverns, and bars that exceed 5,000 square feet in area shall require an automatic sprinkler system. A Fire Department Connection (FDC) is required for all buildings utilizing an automatic sprinkler system. The FDC must be located within 100 feet of a fire hydrant.

Fire Flow Requirements

In general, the calculation area for fire flow requirements is based on the total gross area of the structure, including any area under the horizontal projections of the roof of the structure. Portions of the building that are separated by fire walls without openings and constructed in accordance with the International Building Code, may be considered as separate areas for the purposes of fire flow calculations. For type IA and type IB construction, the calculation shall be based on the area of the three largest successive floors.

MINIMUM REQUIRED FIRE FLOW AND FLOW DURATION FOR BUILDINGS^a

FIRE-FLOW CALCULATION AREA (square feet)					FIRE FLOW (gallons per minute) ^c	FLOW DURATION (hours)
Type IA and IB ^b	Type IIA and IIIA ^b	Type IV and V-A ^b	Type IIB and IIIB ^b	Type V-B ^b		
0-22,700	0-12,700	0-8,200	0-5,900	0-3,600	1,500	2
22,701-30,200	12,701-17,000	8,201-10,900	5,901-7,900	3,601-4,800	1,750	
30,201-38,700	17,001-21,800	10,901-12,900	7,901-9,800	4,801-6,200	2,000	
38,701-48,300	21,801-24,200	12,901-17,400	9,801-12,600	6,201-7,700	2,250	
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7,701-9,400	2,500	
59,001-70,900	33,201-39,700	21,301-25,500	15,401-18,400	9,401-11,300	2,750	
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3,000	3
83,701-97,700	47,101-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3,250	
97,701-112,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3,500	
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3,750	
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4,000	4
145,901-164,200	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4,250	
164,201-183,400	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4,500	
183,401-203,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4,750	
203,701-225,200	114,601-126,700	73,301-81,100	53,001-58,600	32,601-36,000	5,000	
225,201-247,700	126,701-139,400	81,101-89,200	58,601-65,400	36,001-39,600	5,250	
247,701-271,200	139,401-152,600	89,201-97,700	65,401-70,600	39,601-43,400	5,500	
271,201-295,900	152,601-166,500	97,701-106,500	70,601-77,000	43,401-47,400	5,750	
295,901-Greater	166,501-Greater	106,501-115,800	77,001-83,700	47,401-51,500	6,000	
—	—	115,801-125,500	83,701-90,600	51,501-55,700	6,250	
—	—	125,501-135,500	90,601-97,900	55,701-60,200	6,500	
—	—	135,501-145,800	97,901-106,800	60,201-64,800	6,750	
—	—	145,801-156,700	106,801-113,200	64,801-69,600	7,000	
—	—	156,701-167,900	113,201-121,300	69,601-74,600	7,250	
—	—	167,901-179,400	121,301-129,600	74,601-79,800	7,500	
—	—	179,401-191,400	129,601-138,300	79,801-85,100	7,750	
—	—	191,401-Greater	138,301-Greater	85,101-Greater	8,000	

For SI: 1 square foot = 0.0929 m², 1 gallon per minute = 3.785 L/m, 1 pound per square inch = 6.895 kPa.

- a. The minimum required fire flow shall be permitted to be reduced by 25 percent for Group R.
- b. Types of construction are based on the *International Building Code*.
- c. Measured at 20 psi.

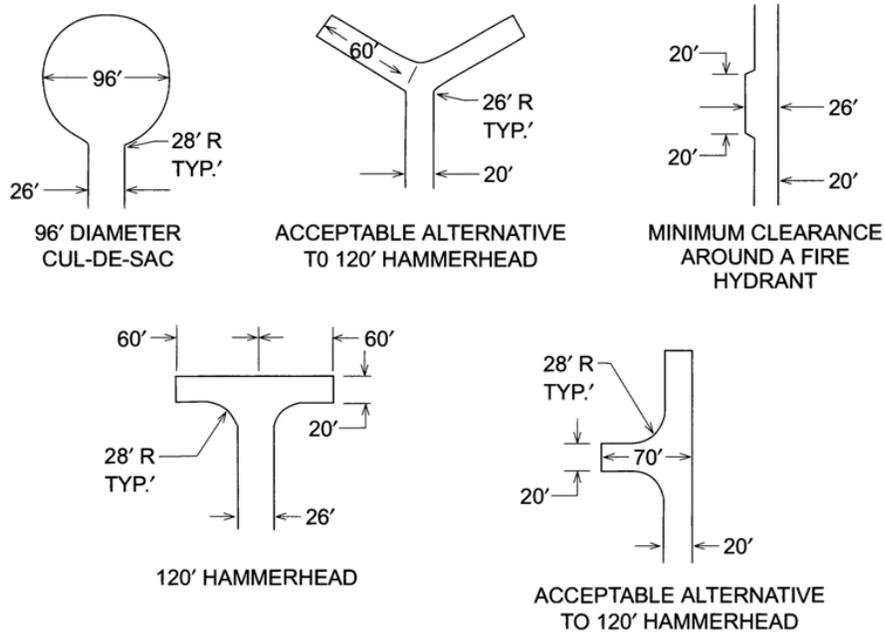
Fire Service Standards

Fire Apparatus Access Roads (Fire Lanes)

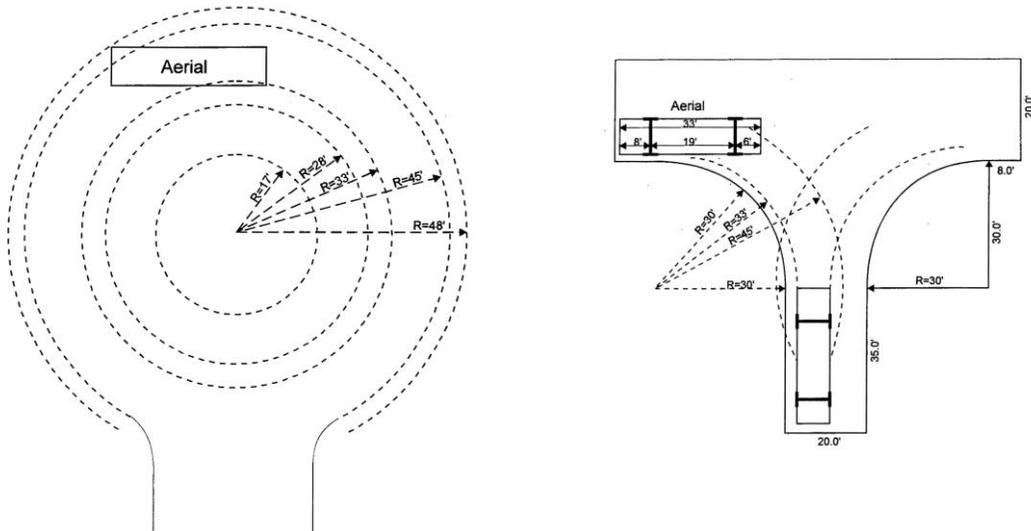
All fire lanes shall be constructed using the following minimum standards or equivalent, as approved by the Administrator:

- **Asphalt** - a minimum of one and one-half inches (1.5") of asphalt pavement on top of six inches (6") of limestone base.
- **Concrete** - a minimum of six inches (6") thick, the reinforcement within the concrete section shall consist of number four (#4) bars on eighteen inch (18") centers, centered within the pavement thickness.

Fire lanes shall be a minimum of 20 feet (20') in width and have a minimum unobstructed height of fourteen feet (14'). Fire lanes in excess of 100 feet shall provide a turn around as provided for in the following table and graphics.



All fire lanes shall meet the following turning radii for an aerial truck:



Fire Service Standards

Aerial Fire Apparatus Access Roads

For all structures or portions of structures, including parapets and other obstructions to the roof of the building, exceeding 30 feet in height, an aerial fire apparatus access road shall be required parallel to one entire side of the building to provide access to the roof of the structure. Aerial fire apparatus access roads shall be a minimum of 26 feet in width and be located within a minimum of 15 feet and a maximum of 30 feet from the building. Overhead utilities shall not be located within an aerial fire apparatus access road.

Fire Lane Markings

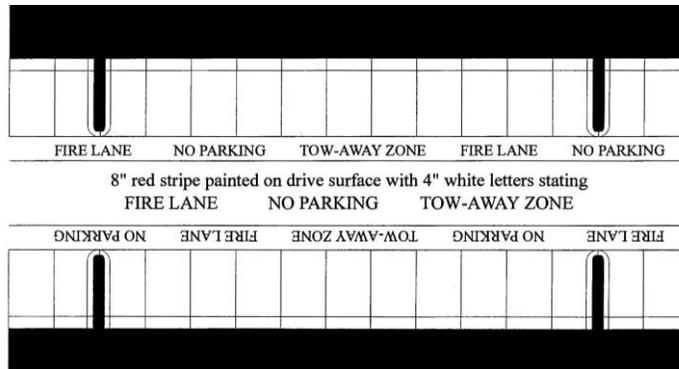
All curbs and curb ends shall be painted red with four inch (4") white lettering stating "FIRE LANE - NO PARKING - TOW AWAY ZONE". Wording may not be spaced more than fifteen feet (15') apart.

In areas where fire lanes are required, but no continuous curb is available, one of the following methods shall be used in conjunction with the curb markings to indicate that the fire lane is continuous:

Option 1: A sign twelve inches (12") wide and eighteen inches (18") in height shall be mounted in a conspicuous location at each entrance to the property. Such signs shall be twelve inches (12") wide and eighteen inches (18") high, with a companion sign twelve inches (12") wide and six inches (6") high stating "Tow-Away Zone". Such signs shall be painted on a white background with symbols, letters and border in red.



Option 2: From the point the fire lane begins to the point the fire lane ends, including behind all parking spaces which adjoin a fire lane, shall be marked with one continuous eight inch (8") red stripe painted on the drive surface behind the parking spaces. All curbing adjoining a fire lane must be painted red. Red stripes and curbs will contain the wording "FIRE LANE - NO PARKING - TOW AWAY ZONE", painted in four inch (4") white letters.



In those cases where curb markings are not possible or where signs would, in the Fire Marshal's opinion, work more effectively, the Fire Marshal may require signs in lieu of curb markings.

Fire Service Standards

Fire Apparatus Access Road Gates

Gates obstructing a fire lane must have a minimum width of 20 feet and utilize either swinging or sliding gates. All security gates must have a Knox key box and manual operation must be able to be by one person. Gates may not be locked with a pad lock or chain.

Access to Multi-Family Developments

Multi-family developments with 100 dwelling units or greater require a second point of ingress / egress from the development to the public right-of-way. In the case that the units have an approved fire suppression system, the number of dwelling units requiring a second point of ingress / egress is 200.

Solid Waste Standards

Requirements pertaining to the type and number of solid waste containers or frequency of collection are based on the type of commercial activity at the location, and the size of the development itself.

Dimensions of the Containers

- A 300-gallon side-loading automated container is 52 inches in diameter and 48 inches tall.
- A 4-yard front-end-loading dumpster is 4 feet wide by 6 feet long and 5 feet tall
- An 8-yard front-end-loading dumpster is 6 feet wide by 6 feet long and 6 feet 6 inches tall.
- A 30-yard roll-off compactor is 8 feet wide by 24 feet long.

Pavement Standards

All sanitation service routes on site shall be constructed with the following minimum standards:

- **Asphalt** - a minimum of one and one-half inches (1.5") of asphalt pavement on top of six inches (6") of limestone base.
- **Concrete** - a minimum of six inches (6") thick, the reinforcement within the concrete section shall consist of number four (#4) bars on eighteen inch (18") centers, centered within the pavement thickness.

All required container and dumpster pads shall be constructed of concrete six inches (6") thick. The reinforcement within the concrete section shall consist of number four (#4) bars on 18 inch centers, centered within the pavement thickness.

Required Screening

All containers are required to be screened from the right-of-way and all adjacent properties by a six foot high opaque screen. A gate is required when opening is in view of the public right-of-way, except for 300-gallon side-loading automated containers. Gates shall have a minimal width of 12 feet when open, shall swing 180 degrees from the closed position, and shall utilize a positive-locking mechanism while in the open position.

The 300-gallon side-loading automated container enclosure shall be open on the side facing the collection point. The open side cannot be facing the public right-of-way.

Enclosures shall not be placed in drainage flow areas.

It is the City's preference that screening structures be located outside of any public easement. If maintenance of City utilities requires the removal of a screening structure, it must be replaced at the property owner's expense.

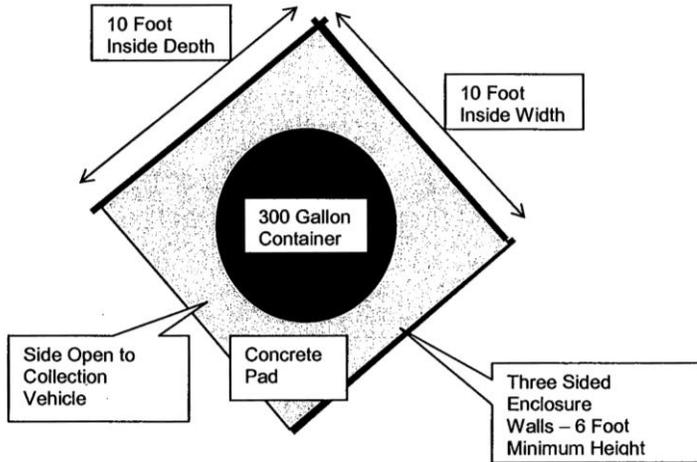
Solid Waste Site Standards

Minimum Dimensions for Enclosures:

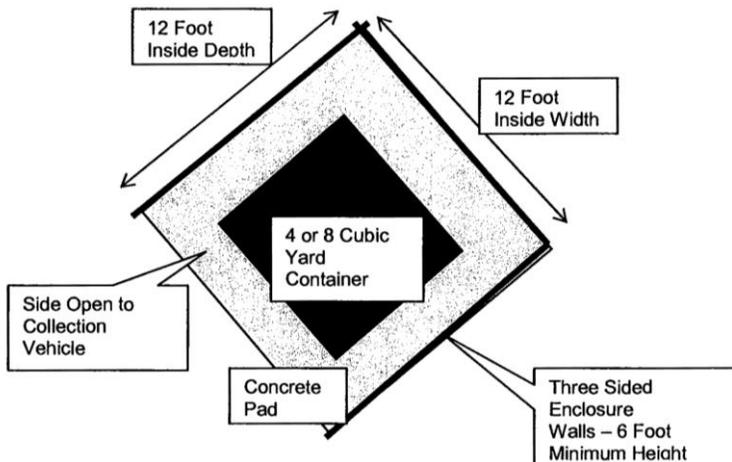
Bollards and other such obstructions shall not be set within the minimum dimensions for enclosures.

Interior clearance (inside the screen) dimensions for a:

- Single 300-gallon container (side-loading) enclosure shall be ten feet deep x ten feet wide (10' x 10').

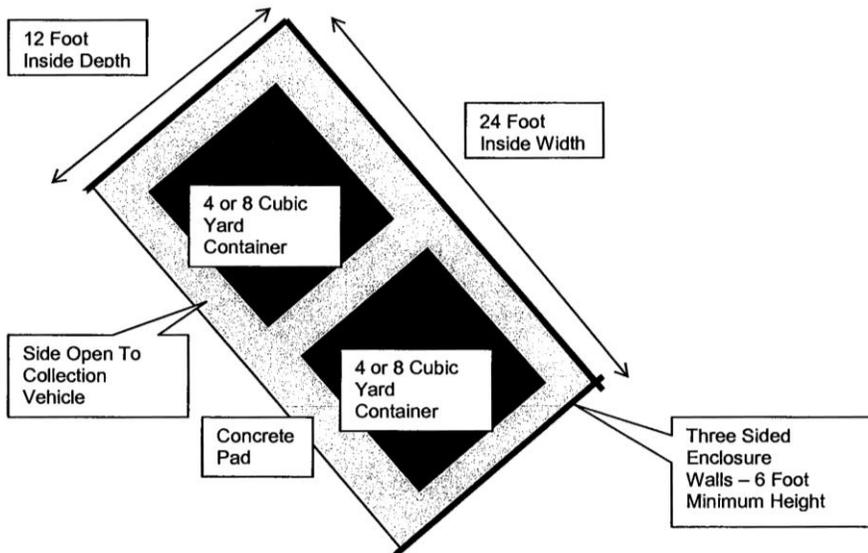


- Single (one four-yard or one eight-yard) dumpster enclosure shall be 12 feet deep x 12 feet wide. The minimum width of the gate or doors shall be no less than 12 feet.



Solid Waste Site Standards

- Double (two four-yard or two eight-yard) dumpster enclosure shall be 12 feet deep x 24 feet wide. The minimum width of the gate or doors shall be no less than 24 feet.



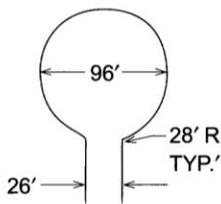
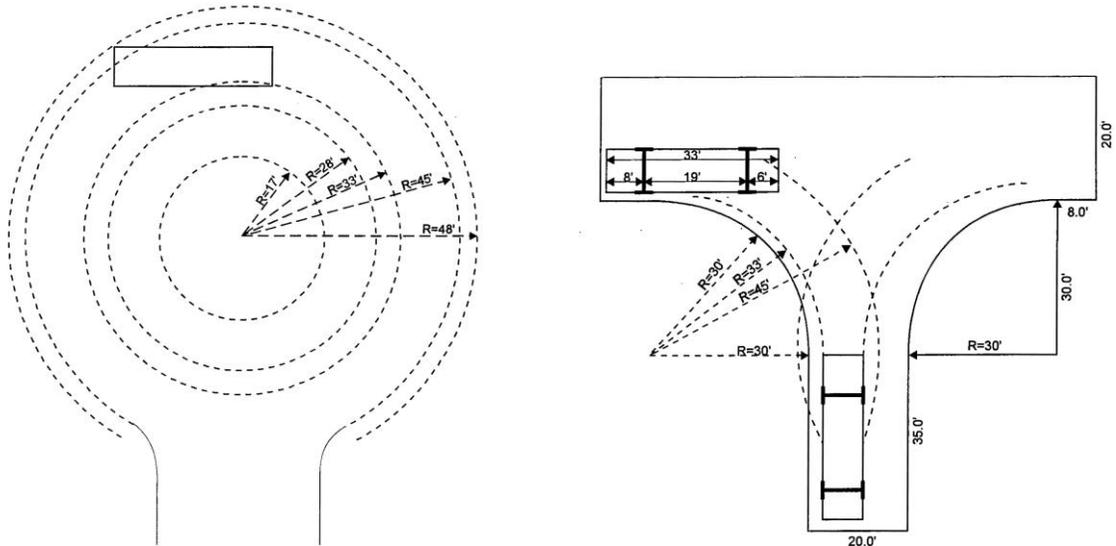
- Triple (three eight-yard) dumpster enclosure shall be 12 feet deep x 36 feet wide. The minimal width of the gate or doors shall be no less than 36 feet.
- A 30-yard roll-off compactor enclosure shall be 29 feet deep x 16 feet wide. The minimal width of the gate or doors shall be no less than 12 feet.

Solid Waste Site Standards

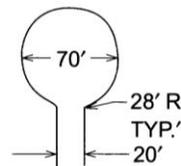
Access

Access areas shall be a minimum of 20 feet in width and have a minimum unobstructed height of 14 feet. Outside turning radii in these areas shall be a minimum of 45 feet.

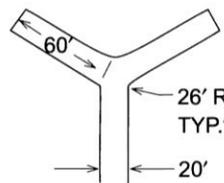
At no time shall the collection vehicle be required to back more than 100 feet while on the property, or be required to back out into or from a public right-of-way. In such cases, a tee or circle turnaround that meets the minimum fire lane standards, as shown below, will be required.



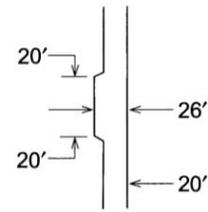
96' DIAMETER
CUL-DE-SAC



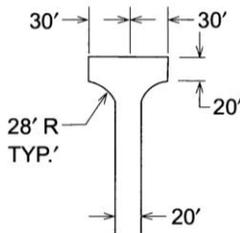
70' DIAMETER
CUL-DE-SAC



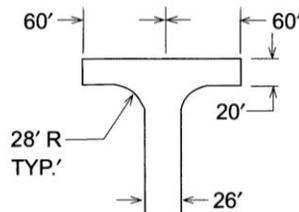
ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD



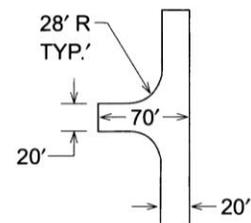
MINIMUM CLEARANCE
AROUND A FIRE
HYDRANT



60' HAMMERHEAD



120' HAMMERHEAD



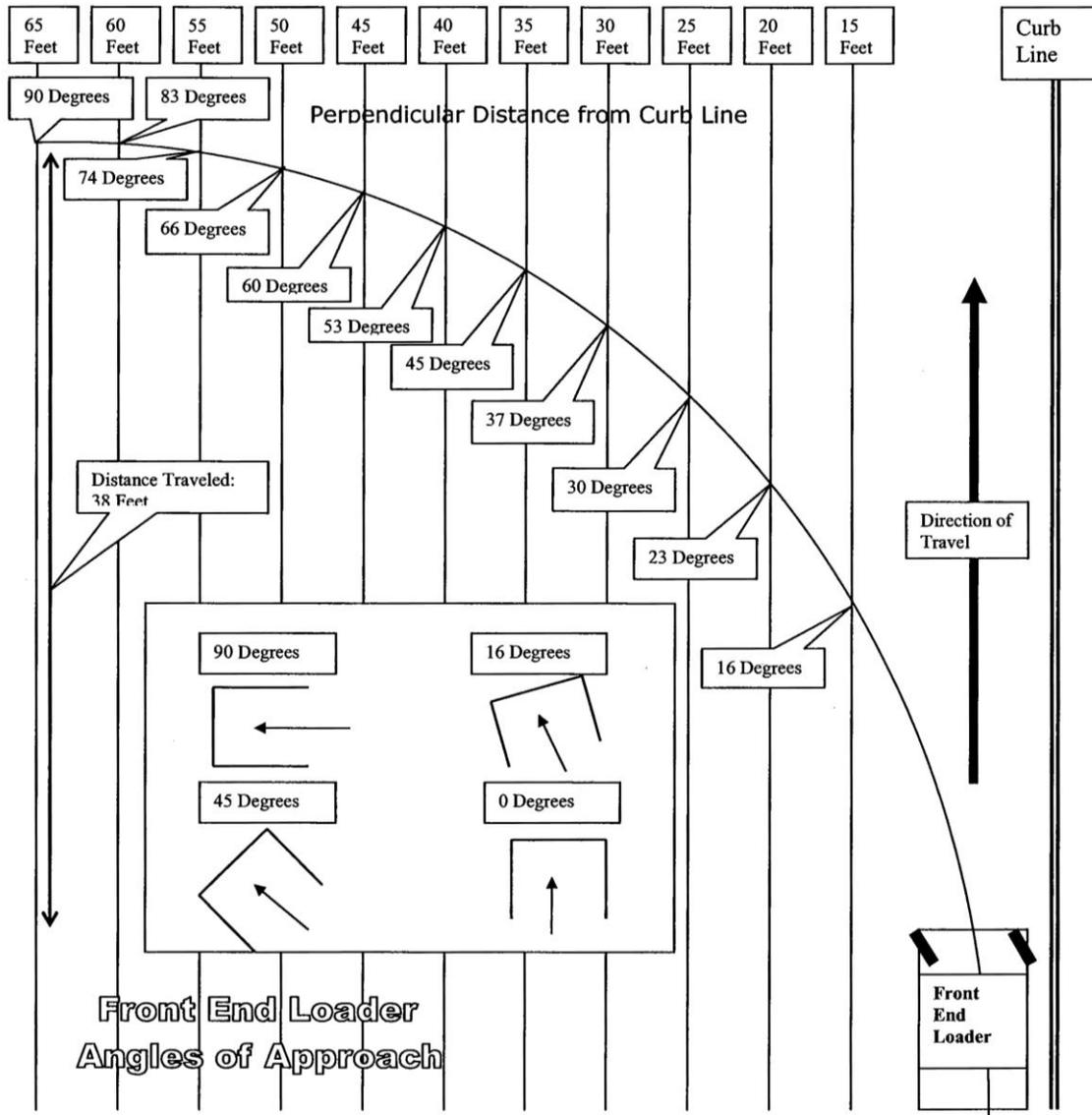
ACCEPTABLE ALTERNATIVE
TO 120' HAMMERHEAD

In all cases, approach design should facilitate a looping or circle ingress / egress path that avoids the necessity of the collection vehicle having to conduct backing maneuvers as much as possible.

Solid Waste Site Standards

Dimensions for Maneuvering

Depending on the angle of the enclosure from the access path, a clear maneuvering area of up to 65 feet in front of the container, as shown below, will be required. No parking will be allowed in the maneuvering area.



Sign Standards

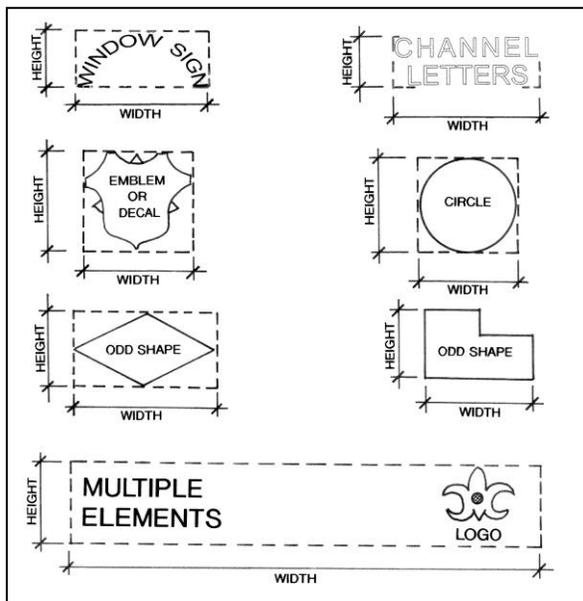
Sign Visibility

Article 7.4 Signs gives the Administrator the authority to determine what is "not easily identified" or visible, as measured from any applicable property line or rights-of-way. The following chart shall be used when making this interpretation.

Distance from Property Line	Height of Copy or Logo
100'	2" or less
150'	3" or less
200'	5" or less
350'	7" or less
400'	8" or less
450'	9" or less
525'	11" or less
600'	12" or less

Determining Sign Area

The area of a sign is the area enclosed by the minimum imaginary rectangle or vertical and horizontal lines that fully contains all extremities, exclusive of supports.



Non-Residential Architectural Standards

Submittal Requirement

All architectural submittals shall provide elevation drawings for each façade and a material legend (see sample legend below) for each façade.

City of College Station SAMPLE LEGEND USE OF MATERIALS ON FAÇADE 'A'		
Total Square Footage of Façade 'A': 10,000 s.f.		
Material	Area in Square Feet	Percent of Overall Façade
Stucco	2,000 s.f.	20%
Brick	5,000 s.f.	50%
Doors and Windows	3,000 s.f.	30%

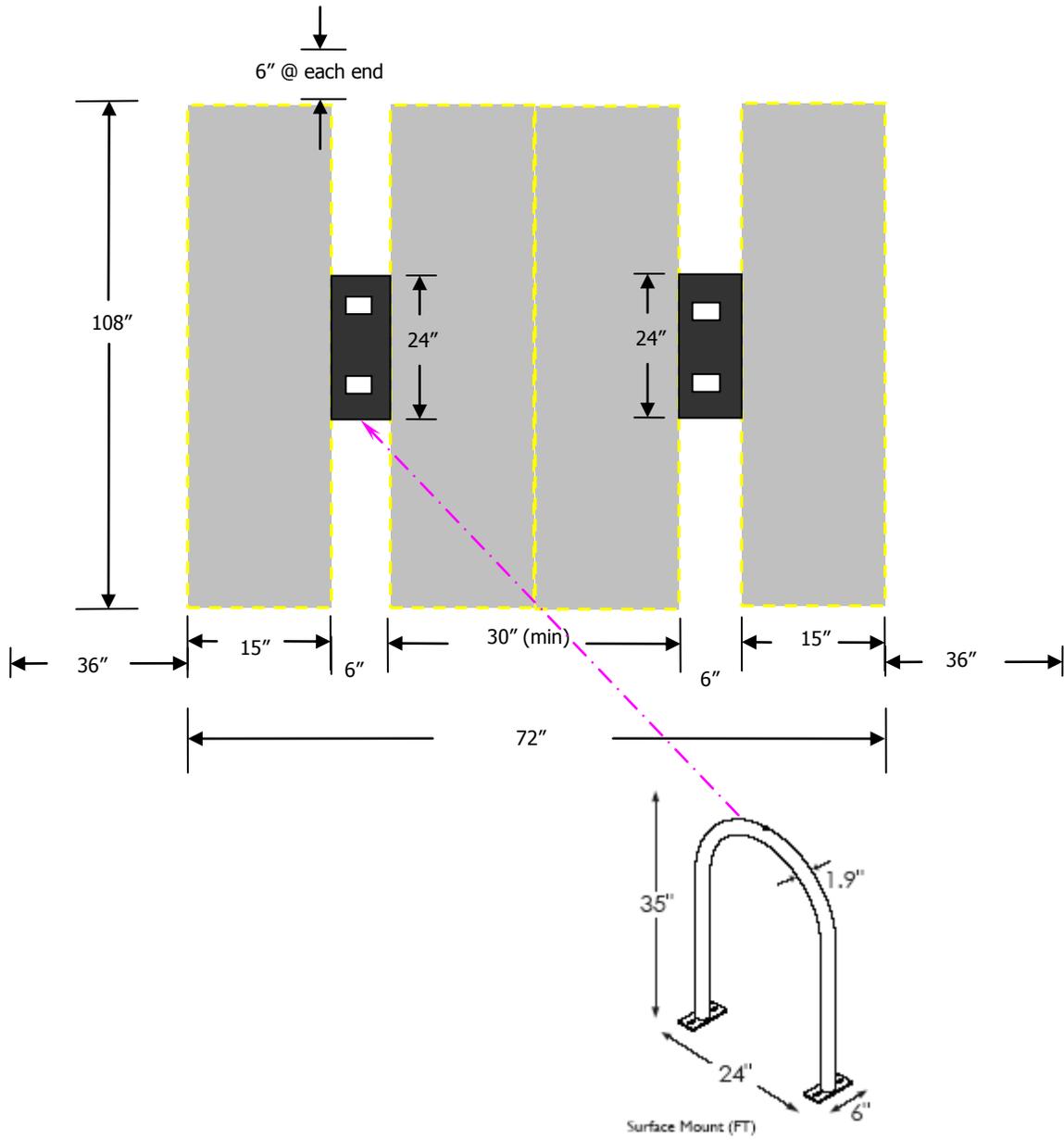
Bicycle Parking

Each building shall provide a facility capable of storing a minimum of four (4) bicycles. The area provided for such a facility shall be approximately 55 square feet in area, approximately nine feet by six feet (9' X 6'), or as approved by the Administrator.

Approved bicycle facilities shall utilize the design and dimensions shown on the following page.

Non-Residential Architectural Standards

Bicycle Parking Space Layout:



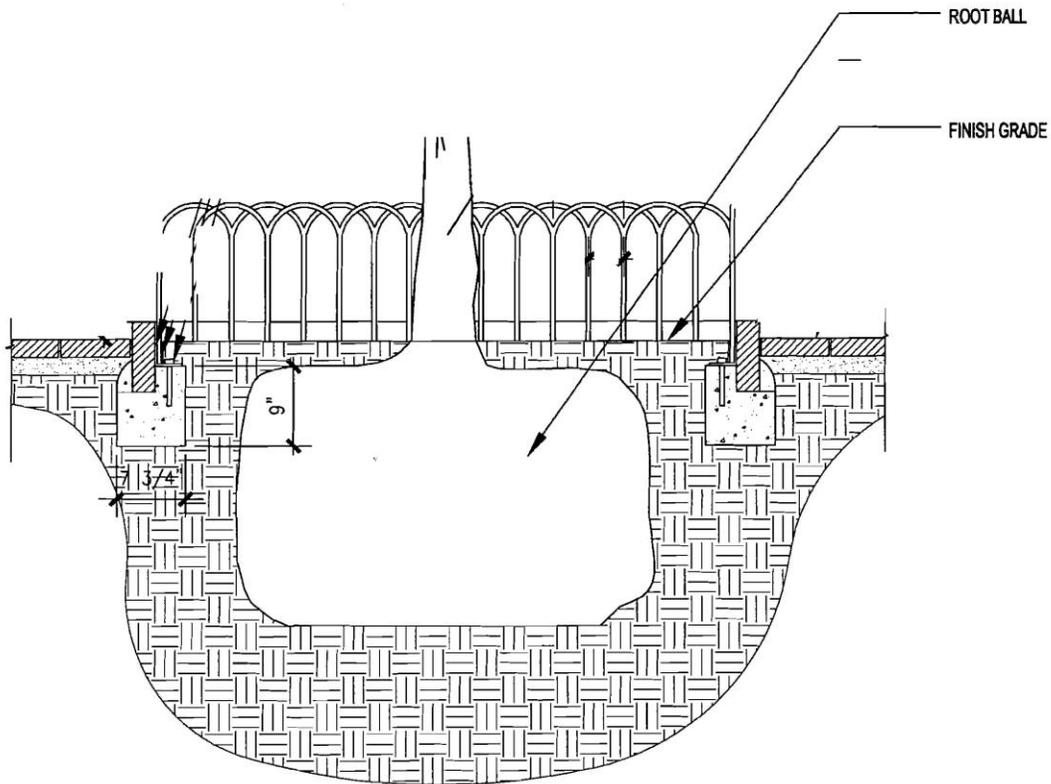
DRAWING NOT TO SCALE

Non-Residential Architectural Standards

Tree Wells (At Grade or Raised):

For at-grade tree wells, a minimum 72 inch square tree grate with a 16 inch diameter expandable tree opening is required.

Raised planters should be a minimum of six feet by six feet (6' x 6') and 18 inches high. The maximum height is 30 inches. The bottom of the bed must be kept open and planting soil should be cultivated into the original soil to encourage roots to escape from the bed into surrounding soil.



Non-Residential Architectural Standards

Approved Color Palette

The following is a list of all approved non-residential building colors. The actual palette of colors can be viewed at the office of Planning & Development Services in City Hall.

Approved Colors-Essentials

Color Strip Number	Color Name	Paint Number
B	Ibis White	7000
	Marshmallow	7001
	Downey	7002
	Toque White	7003
	Snowbound	7004
	Pure White	7005
	Extra White	7006
	Ceiling Bright White	7007
C	Alabaster	7008
	Pearly White	7009
	White Duck	7010
	Natural Choice	7011
	Creamy	7012
	Dover White	6385
	Ivory Lace	7013
	Antique White	6119
D	Eider White	7014
	Repose Gray	7015
	Mindful Gray	7016
	Dorian Gray	7017
	Dovetail	7018
	Gauntlet Gray	7019
	Black Fox	7020
E	Simple White	7021
	Alpaca	7022
	Requisite Gray	7023
	Functional Gray	7024
	Backdrop	7025
	Griffin	7026
	Well-Bred Brown	7027
F	Incredible White	7028
	Agreeable Gray	7029
	Anew Gray	7030
	Mega Greige	7031
	Warm Stone	7032
	Brainstorm Bronze	7033
	Status Bronze	7034

Color Strip Number	Color Name	Paint Number
G	Aesthetic White	7035
	Accessible Beige	7036
	Balanced Beige	7037
	Tony Taupe	7038
	Virtual Taupe	7039
	Smokehouse	7040
	Van Dyke Brown	7041
	H	Shoji White
Worldly Gray		7043
Amazing Gray		7044
Intellectual Gray		7045
Anonymous		7046
Porpoise		7047
Urbane Bronze		7048
I	Nuance	7049
	Useful Gray	7050
	Analytical Gray	7051
	Gray Area	7052
	Adaptive Shade	7053
	Suitable Brown	7054
J	Enduring Bronze	7055
	Reserved White	7056
	Silver Strand	7057
	Magnetic Gray	7058
	Usual Gray	7059
	Attitude Gray	7060
K	Night Owl	7061
	Rock Bottom	7062
	Nebulous White	7063
	Passive	7064
	Argos	7065
	Gray Matters	7066
	Cityscape	7067
Grizzle Gray	7068	
Iron Ore	7069	

Non-Residential Architectural Standards

Approved Colors-Essentials

Color Strip Number	Color Name	Paint Number
L	Site White	7070
	Gray Screen	7071
	Online	7072
	Network Gray	7073
	Software	7074
	Web Gray	7075
	Cyberspace	7076
M	Original White	7077
	minute Mauve	7078
	Ponder	7079
	Quest Gray	7080
	Sensuous Gray	7081
	Stunning Shade	7082
	Darkroom	7083

Non-Residential Architectural Standards

Approved Colors - Fundamentally Neutral

Color Strip Number	Color Name	Paint Number	Color Strip Number	Color Name	Paint Number
1	Snowfall	6000	7	Hush White	6042
	Grayish	6001		Unfussy Beige	6043
	Essential Gray	6002		Doeskin	6044
	Proper Gray	6003		Emerging Taupe	6045
	Mink	6004		Swing Brown	6046
	Folkstone	6005		Hot Cocoa	6047
	Black Bean	6006		Terra Brun	6048
2	Smart White	6007	8	Gorgeous White	6049
	Individual White	6008		Abalone Shell	6050
	Imagine	6009		Sashay Sand	6051
	Flexible Gray	6010		Sandbank	6052
	Chinchilla	6011		Reddened Earth	6053
	Browse Brown	6012		Canyon Clay	6054
	Bitter Chocolate	6013		Fiery Brown	6055
3	Quartz White	6014	9	Polite White	6056
	Vaguely Mauve	6015		Malted Milk	6057
	Chaise Mauve	6016		Likeable Sand	6058
	Intuitive	6017		Interface Tan	6059
	Enigma	6018		Moroccan Brown	6060
	Poetry Plum	6019		Tanbark	6061
	Marooned	6020		Rugged Brown	6062
4	Dreamy White	6021	10	Nice White	6063
	Breathless	6022		Reticence	6064
	Insightful Rose	6023		Bona Fide Beige	6065
	Dressy Rose	6024		Sand Trap	6066
	Socialite	6025		Mocha	6067
	River Rouge	6026		Brevity Brown	6068
	Cordovan	6027		French Roast	6069
5	Cultured Pearl	6028	11	Heron Plume	6070
	White Truffle	6029		Popular Gray	6071
	Artistic Taupe	6030		Versatile Gray	6072
	Glamour	6031		Perfect Greige	6073
	Dutch Cocoa	6032		Spaulding Gray	6074
	Bateau Brown	6033		Garret Gray	6075
	Arresting Auburn	6034		Turkish Coffee	6076
6	Gauzy White	6035	12	Everyday White	6077
	Angora	6036		Realist Beige	6078
	Temperate Taupe	6037		Diverse Beige	6079
	Truly Taupe	6038		Utterly Beige	6080
	Poised Taupe	6039		Doan Home	6081
	Less Brown	6040		Cobble Brown	6082
	Other	6041		Sable	6083

Non-Residential Architectural Standards

Approved Colors - Fundamentally Neutral

Color Strip Number	Color Name	Paint Number
13	Modest White	6084
	Simplify Beige	6085
	Sand Dune	6086
	Trusty Tan	6087
	Nuthatch	6088
	Grounded	6089
	Java	6090
14	Reliable White	6091
	Lightweight Beige	6092
	Familiar Beige	6093
	Sensational Sand	6094
	Toasty	6095
	Jute Brown	6096
	Sturdy Brown	6097
15	Pacer White	6098
	Sand Dollar	6099
	Practical Beige	6100
	Sands of Time	6101
	Portobello	6102
	Tea Chest	6103
	Kaffee	6104
16	Divine White	6105
	Kilim Beige	6106
	Nomadic Desert	6107
	Latte	6108
	Hopsack	6109
	Steady Brown	6110
	Coconut Husk	6111
17	Biscuit	6112
	Interactive Cream	6113
	Bagel	6114
	Totally Tan	6115
	Tatami Tan	6116
	Smokey Topaz	6117
	Leather Bound	6118
18	Antique White	6119
	Believable Bluff	6120
	Whole Wheat	6121
	Camelback	6122
	Baguette	6123
	Cardboard	6124
	Craft Paper	6125

Color Strip Number	Color Name	Paint Number
19	Navajo White	6126
	Ivoire	6127
	Blonde	6128
	Restrained Gold	6129
	Mannered Gold	6130
	Chamois	6131
	Relic Bronze	6132
	Muslin	6133
20	Netsuke	6134
	Ecru	6135
	Harmonic Tan	6136
	Burlap	6137
	Artifact	6138
	Massy Gold	6139
	Moderate White	6140
21	Softer Tan	6141
	Macadamia	6142
	Basket Beige	6143
	Dapper Tan	6144
	Thatch Brown	6145
	Umber	6146
	Panda White	6147
22	Wool Skein	6148
	Relaxed Khaki	6149
	Universal khaki	6150
	Quiver Tan	6151
	Superior Bronze	6152
	Protégé Bronze	6153
	Nacre	6154
23	Rice Grain	6155
	Ramie	6156
	Favorite Tan	6157
	Sawdust	6158
	High Tea	6159
	Best Bronze	6160
	Nonchalant White	6161
24	Ancient Marble	6162
	Grassland	6163
	Svelte Sage	6164
	Connected Gray	6165
	Eclipse	6166
	Garden Gate	6167

Non-Residential Architectural Standards

Approved Colors - Fundamentally Neutral

Color Strip Number	Color Name	Paint Number
25	Modern White	6168
	Sedate Fray	6169
	Techno Gray	6170
	Chatroom	6171
	Hardware	6172
	Cocoon	6173
	Andiron	6174
26	Sagey	6175
	Livable Green	6176
	Softened Green	6177
	Clary Sage	6178
	Artichoke	6179
	Oakmoss	6180
	Secret Garden	6181
27	Ethereal White	6182
	Conservative Gray	6183
	Austere Gray	6184
	Escape Gray	6185
	Dried Thyme	6186
	Rosemary	6187
	Shade-Green	6188
28	Opaline	6189
	Filmy Green	6190
	Contented	6191
	Coastal Plain	6192
	Privilege Green	6193
	Basil	6194
	Rock Garden	6195
29	Frosty White	6196
	Aloof Gray	6197
	Sensible Hue	6198
	Rare Gray	6199
	Link Gray	6200
	Thunderous	6201
	Cast Iron	6202
30	Spare White	6203
	Sea Salt	6204
	Comfort Gray	6205
	Oyster Bay	6206
	Retreat	6207
	Pewter Green	6208
	Ripe Olive	6209

Color Strip Number	Color Name	Paint Number
31	Window Pane	6210
	Rainwashed	6211
	Quietude	6212
	Halcyon Green	6213
	Undersea	6214
	Rocky River	6215
	Jasper	6216
	32	Topsail
Tradewind		6218
Rain		6219
Interesting Aqua		6220
Moody Blue		6221
Riverway		6222
Still Water		6223
33		Mountain Air
	Sleepy Blue	6225
	Languid Blue	6226
	Meditative	6227
	Refuge	6228
	Tempe Star	6229
	Rainstorm	6230
	34	Rock Candy
Misty		6232
Samovar Silver		6233
Uncertain Gray		6234
Foggy Day		6235
Grays Harbor		6236
Dark Knight		6237
35		Icicle
	Upward	6239
	Windy Blue	6240
	Aleutian	6241
	Bracing Blue	6242
	Distance	6243
	Naval	6244
	36	Quicksilver
North Star		6246
Krypton		6247
Jubilee		6248
Storm Cloud		6249
Granite Peak		6250
Outerspace		6251

Non-Residential Architectural Standards

Approved Colors - Fundamentally Neutral

Color Strip Number	Color Name	Paint Number
37	Ice Cube	6252
	Olympus White	6253
	Lazy Gray	6254
	Morning Fog	6255
	Serious Gray	6256
	Gibraltar	6257
	Tricorn Black	6258
38	Spatial White	6259
	Unique Gray	6260
	Swanky Gray	6261
	Mysterious Mauve	6262
	Exclusive Plum	6263
	Midnight	6264
	Quixotic Plum	6265
39	Discreet White	6266
	Sensitive Tint	6267
	Veiled Violet	6268
	Beguiling Mauve	6269
	Soulmate	6270
	Expressive Plum	6271
	Plum Brown	6272
40	Nouvelle White	6273
	Destiny	6274
	Fashionable Gray	6275
	Mystical Shade	6276
	Special Gray	6277
	Cloak Gray	6278
	Black Swan	6279

Non-Residential Architectural Standards

Approved Colors - Color Options

Color Strip Number	Color Name	Paint Number	Color Strip Number	Color Name	Paint Number
41	Mauve Tinge	6280	47	Intimate White	6322
	Wallflower	6281		Romance	6323
	Mauve Finery	6282		Mellow Carol	6324
	Thistle	6283		Constant Coral	6325
	Plum Dandy	6284		Henna Shade	6326
	Grape Harvest	6285		Bold Brick	6327
	Mature Grape	6286		Fireweed	6328
42	White Beet	6287	48	Faint Coral	6329
	Rosebud	6288		Quaint Peche	6330
	Delight	6289		Smoky Salmon	6331
	Rose'	6290		Coral Island	6332
	Moss Rose	6291		Roxy	6333
	Berry Brush	6292		Flower Pot	6334
	Fabulous Grape	6293		Fired Brick	6335
43	Rose of Sharon	6294	49	Nearly Peach	6336
	Demure	6295		Spun Sugar	6337
	Fading Rose	6296		Warming Peach	6338
	Rose Embroidery	6297		Persimmon	6339
	Concerto	6298		Baked Clay	6340
	Aged Wine	6299		Red Cent	6341
	Burgundy	6300		Spicy Hue	6342
44	Patient White	6301	50	Alluring White	6343
	Innocence	6302		Peach Fuzz	6344
	Rose Colored	6303		Sumptuous Peach	6345
	Pressed Glowler	6304		Fame Orange	6346
	Rambling Rose	6305		Chrysanthemum	6347
	Cordial	6306		Reynard	6348
	Fine Wine	6307		Pennywise	6349
45	Possibly Pink	6308	51	Intricate Ivory	6350
	Charming Pink	6309		Sweet Orange	6351
	Lotus Flower	6310		Soft Apricot	6352
	Memorable Rose	6311		Chivalry Copper	6353
	Redbud	6312		Armagnac	6354
	Kirsch Red	6313		Truepenny	6355
46	Luxurious Red	6314	52	Copper Mountain	6356
	White Dogwood	6315		Choice Cream	6357
	Rosy Outlook	6316		Creamery	6358
	Gracious Rose	6317		Sociable	6359
	Resounding Rose	6318		Folksy Gold	6360
	Reddish	6319		Autumnal	6361
	Bravado Red	6320		Tigereye	6362
Red Bay	6321	Gingery	6363		

Non-Residential Architectural Standards

Approved Colors - Color Options

Color Strip Number	Color Name	Paint Number
53	Eggwhite	6364
	Cachet Cream	6365
	Ambitious Amber	6366
	Viva Gold	6367
	Bakelite Gold	6368
	Tassel	6369
	Saucy Gold	6370
54	Vanillin	6371
	Inviting Ivory	6372
	Harvester	6373
	torchlight	6374
	Honeycomb	6375
	Gold Coast	6376
	Butterscotch	6377
55	Crisp Linen	6378
	jersey Cream	6379
	Humble Gold	6380
	Anjou Pear	6381
	Ceremonial Gold	6382
	Golden Rule	6383
	Cut the Mustard	6384
56	Dover White	6385
	Napery	6386
	Compatible Cream	6387
	Golden Fleece	6388
	Butternut	6389
	Bosc Pear	6390
	Gallant Gold	6391
57	Vital Yellow	6392
	Convivial Yellow	6393
	Sequin	6394
	Alchemy	6395
	Different Gold	6396
	Nankeen	6397
	Sconce Gold	6398
58	Chamomile	6399
	Lucent Yellow	6400
	Independent Gold	6401
	Antiquity	6402
	Escapade Gold	6403
	Grandiose	6404
	Fervent Brass	6405

Color Strip Number	Color Name	Paint Number
59	Ionic Ivory	6406
	Ancestral Gold	6407
	Wheat Grass	6408
	Edgy Gold	6409
	Brassy	6410
	Bengal Grass	6411
	Eminent Bronze	6412
	Restoration ivory	6413
60	Rice Paddy	6414
	Hearts of Palm	6415
	Sassy Green	6416
	Tupelo Tree	6417
	Rural Green	6418
	Saguaro	6419
	Queen Anne's Lace	6420
61	Celery	6421
	Shagreen	6422
	Ryegrass	6423
	Tansy Green	6424
	Relentless Green	6425
	Basque Green	6426
	Sprout	6427
62	Honeydew	6428
	Baize Green	6429
	Great Green	6430
	Leapfrog	6431
	Garden Spot	6432
	Inverness	6433
	Spinach White	6434
63	Gratifying Green	6435
	Bonsai Tint	6436
	Haven	6437
	Dill	6438
	Greenfield	6439
	Courtyard	6440
	White Mint	6441
64	Supreme Green	6442
	Relish	6443
	Lounge Green	6444
	Garden Green	6445
	Arugula	6446
	Evergreens	6447

Non-Residential Architectural Standards

Approved Colors - Color Options

Color Strip Number	Color Name	Paint Number
65	Greening	6448
	Topiary Tint	6449
	Easy Green	6450
	Nurture Green	6451
	Inland	6452
	Cilantro	6453
	Shamrock	6454
66	Fleeting Green	6455
	Slow Green	6456
	Kind Green	6457
	Restful	6458
	Jadeite	6459
	Kale Green	6460
	Isle of Pines	6461
67	Green Trance	6462
	Breaktime	6463
	Aloe	6464
	Spearmint	6465
	Grandview	6466
	Kendal Green	6467
	Hunt Club	6468
68	Dewy	6469
	Waterscape	6470
	Hazel	6471
	Composed	6472
	Surf Green	6473
	Raging Sea	6474
	Country Squire	6475
69	Glimmer	6476
	Tidewater	6477
	Eatery	6478
	Drizzle	6479
	Lagoon	6480
	Green Bay	6481
	Cape Verde	6482
70	Buoyant Blue	6483
	Meander Blue	6484
	Raindrop	6485
	Reflecting Pool	6486
	Cloudburst	6487
	Grand Canal	6488
	Really Teal	6489

Color Strip Number	Color Name	Paint Number
71	Timid Blue	6490
	Open Air	6491
	Jetstream	6492
	Ebbtide	6493
	Lakeshore	6494
	Great Falls	6495
	Oceanside	6496
72	Blue Horizon	6497
	Byte Blue	6498
	Stream	6499
	Open Seas	6500
	Manitou Blue	6501
	Loch Blue	6502
	Bosporus	6503
73	Sky High	6504
	Atmospheric	6505
	Vast Sky	6506
	Resolute Blue	6507
	Secure Blue	6508
	Georgian Bay	6509
	Loyal Blue	6510
74	Snowdrop	6511
	Balmy	6512
	Take Five	6513
	Respite	6514
	Leisure Blue	6515
	Down Pour	6516
	Regatta	6517
75	Ski Slope	6518
	Hinting Blue	6519
	Honest Blue	6520
	Notable Hue	6521
	Sporty Blue	6522
	Denim	6523
	Commodore	6524
76	Rarified Air	6525
	Icelandic	6526
	Blissful Blue	6527
	Cosmos	6528
	Scanda	6529
	Revel Blue	6530
	Indigo	6531

Non-Residential Architectural Standards

Approved Colors - Color Options

Color Strip Number	Color Name	Paint Number
77	Aura White	6532
	Mild Blue	6533
	Icy	6534
	Solitude	6535
	Searching Blue	6536
	Luxe Blue	6537
	Dignified	6538
78	Soothing White	6539
	Starry Night	6540
	Daydream	6541
	Vesper Violet	6542
	Soulful Blue	6543
	Mesmerize	6544
	Majestic Purple	6545
79	Cloud Nine	6546
	Silver Peony	6547
	Grape Mist	6548
	Ash Violet	6549
	Mythical	6550
	Purple Passage	6551
	Dewberry	6552
80	Heavenly White	6553
	Lite Lavender	6554
	Enchant	6555
	Obi Lilac	6556
	Wood Violet	6557
	Plummy	6558
	Concord Grape	6559

Non-Residential Architectural Standards

Approved Colors - Concepts in Color

Color Strip Number	Color Name	Paint Number
1	Threshold Taupe	7501
	Dry Dock	7502
	Sitcks & Stones	7503
	Keystone Gray	7504
	Manor House	7505
2	Loggia	7506
	Stone Lion	7507
	Tavern Taupe	7508
	Tiki Hut	7509
	Chateau Brown	7510
3	Bungalow Beige	7511
	Pavilion Beige	7512
	Sanderling	7513
	Foothills	7514
	Homestead Brown	7515
4	Kestrel White	7516
	China Doll	7517
	Beach House	7518
	Mexican Sand	7519
	Plantation Brown	7520
5	Dormer Brown	7521
	Meadowlark	7522
	Burnished Brandy	7523
	Dhurrie Beige	7524
	Tree Branch	7525
6	Maison Blanche	7526
	Nantucket Dune	7527
	Windsor Greige	7528
	Sand Beach	7529
	Barcelona Beige	7530
7	Canvas Tan	7531
	Urban Putty	7532
	Khaki Shade	7533
	Outerbanks	7534
	Sandy Ridge	7535
8	Bitter Sweet	7536
	Irish Cream	7537
	Tamarind	7538
	Cork Wedge	7539
	Artisan Tan	7540

Color Strip Number	Color Name	Paint Number
9	Grecian Ivory	7541
	Natural	7542
	Avenue Tan	7543
	Fenland	7544
	Pier	7545
10	Prairie Grass	7546
	Sandbar	7547
	Portico	7548
	Studio Taupe	7549
	Resort Tan	7550
11	Greek Villa	7551
	Bauhaus Buff	7552
	Fragile Beauty	7553
	Steamed Milk	7554
	Patience	7555
12	Crème	7556
	Summer White	7557
	Medici Ivory	7558
	Décor White	7559
	Impressive Ivory	7560
13	Lemon Meringue	7561
	Roman Column	7562
	Restful White	7563
	Polar Bear	7564
	Oyster Bar	7565
14	Westhighland White	7566
	Natural Tan	7567
	Neutral Ground	7568
	Stucco	7569
	Egret White	7570
15	Casa Blanca	7571
	Lotus Pod	7572
	Eaglet Beige	7573
	Echelon Ecru	7574
	Chop Sticks	7575
16	Damsel	7576
	Blackberry	7577
	Borscht	7578
	Alaea	7579
	Carnelian	7580

Non-Residential Architectural Standards

Approved Colors - Concepts in Color

Color Strip Number	Color Name	Paint Number
17	Rosette	7581
	Salute	7582
	Wild Current	7583
	Red Theatre	7584
	Sundired Tomato	7585
18	Stolen Kiss	7586
	Antique Ted	7587
	Show Stopper	7588
	Habanero Chile	7589
	Red Obsession	7590
19	Red Barn	7591
	Crabby Apple	7592
	Rustic Red	7593
	Carriage Door	7594
	Sommelier	7595
20	Only natural	7596
	Trek Tan	7597
	Sierra Redwood	7598
	Brick Paver	7599
	Bolero	7600
21	Dockside Blue	7601
	Indigo Batik	7602
	Pool house	7603
	Smokey Blue	7604
	Gale Force	7605
22	Blue Cruise	7606
	Santorin Blue	7607
	Adrift	7608
	Georgian Revival Blue	7609
	Turkish Tile	7610
23	Tranquil Aqua	7611
	Mountain Stream	7612
	Aqua-Sphere	7613
	St. Bart's	7614
	Sea Serpent	7615
24	Breezy	7616
	Mediterranean	7617
	Deep Sea Dive	7618
	Labradorite	7619
	Seaworthy	7620

Color Strip Number	Color Name	Paint Number
25	Silvermist	7621
	Homburg Gray	7622
	Cascades	7623
	Slate Tile	7624
	Mount Etna	7625
26	Zurich White	7626
	White Heron	7627
	Windfresh White	7628
	Grapy	7629
	Raisin	7630
27	City Loft	7631
	Modern Gray	7632
	Taupe Tone	7633
	Pediment	7634
	Palisade	7635
28	Origami White	7636
	Oyster White	7637
	Jogging Path	7638
	Ethereal Mood	7639
	Fawn Brindle	7640
29	Colonnade Gray	7641
	Pavestone	7642
	Puss willow	7643
	Gateway Gray	7644
	Thunder Gray	7645
30	First Star	7646
	Crushed Ice	7647
	Big Chill	7648
	Silver-plate	7649
	Ellie Gray	7650
31	Front Porch	7651
	Mineral Deposit	7652
	Silverpoint	7653
	Lattice	7654
	Stamped Concrete	7655
32	Rhinestone	7656
	Tinsmith	7657
	Gray Clouds	7658
	Gris	7659
	Earl Grey	7660

Non-Residential Architectural Standards

Approved Colors - Concepts in Color

Color Strip Number	Color Name	Paint Number
33	Reflection	7661
	Evening Shadow	7662
	Monorail Silver	7663
	Steely Gray	7664
	Wall Street	7665
34	Fleur de Sel	7666
	Sircon	7667
	March Wind	7668
	Summit Gray	7669
	Gray Shingle	7670
35	On the Rocks	7671
	Knitting Needles	7672
	Pewter Cast	7673
	Peppercorn	7674
	Sealskin	7675
36	Paper Lantern	7676
	Gold Vessel	7677
	Cottage Cream	7678
	Golden Gate	7679
	Lanyard	7680
37	Tea Light	7681
	Bee's wax	7682
	Buff	7683
	Concord Buff	7684
	White Raisin	7685
38	Hinoki	7686
	August Moon	7687
	Sundew	7688
	Raw House Tan	7689
	Townhall Tan	7690
39	Biltmore Buff	7691
	Cupola Yellow	7692
	Stonebriar	7693
	Dromedary Camel	7694
	Mesa Tan	7695
40	Toasted Pin Nut	7696
	Safari	7697
	Straw Harvest	7698
	Rustic City	7699
	Olde World Gold	7700

Color Strip Number	Color Name	Paint Number
41	Cavern Clay	7701
	Spiced Cider	7702
	Earthen Jug	7703
	Tower Tan	7704
	Wheat Penny	7705
42	Creole Cottage	7706
	Copper Wire	7707
	Rustic Adobe	7708
	Copper Pot	7709
	Brandywine	7710
43	Pueblo	7711
	Townhouse Tan	7712
	Tawny Tan	7713
	Oak Barrel	7714
	Pottery Urn	7715
44	Croissant	7716
	Ligonier Tan	7717
	Oak Creek	7718
	Fresco Cream	7719
	Deer Valley	7720
45	Crescent Cream	7721
	Tavertine	7722
	Colony Buff	7723
	Canoe	7724
	Yearling	7725
46	Lemon Verbena	7726
	Kio Pond	7727
	Green Sprout	7728
	Edamame	7729
	Forestwood	7730
47	San Antonio Sage	7731
	Lemongrass	7732
	Bamboo Shoot	7733
	Olive Grove	7734
	Palm Leaf	7735
48	Garden sage	7736
	Meadow Trail	7737
	Cargo Pants	7738
	Herbal Wash	7739
	Messenger Bag	7740

Non-Residential Architectural Standards

Approved Colors - Concepts in Color

Color Strip Number	Color Name	Paint Number
49	Willow Tree	7741
	Agate Green	7742
	Mountain Road	7743
	Zeus	7744
	Muddled Basil	7745
50	Rushing River	7746
	Recycled Glass	7747
	Green Earth	7748
	Laurel Woods	7749
	Olympic Range	7750

Non-Residential Architectural Standards

Approved Colors - Exterior Preservation Palette

Color Strip Number	Color Name	Paint Number
150	Renwick Beige	2805
	Renwick Rose Beige	2804
	Rookwood Terra Coatta	2803
	Rookwood Brown	2806
	Rookwood Med. Brown	2807
	Rookwood Dark Brown	2808
	Rookwood Red	2802
	Rookwood Dark Red	2801
151	Downing Sand	2822
	Downing Stone	2821
	Downing Earth	2820
	Rookwood Clay	2823
	Downing Straw	2813
	Renwick Golden Oak	2824
	Rookwood Antique Gold	2824
	Rookwood Amber	2814
152	Renwick Olive	2815
	Rookwood Jade	2812
	Rookwood Dark Green	2816
	Rookwood Blue Green	2811
	Rookwood Sash Green	2810
	Rookwood Shutter Green	2809
	Downing Slate	2819
	Renwick Heater	2818

Color Strip Number	Color Name	Paint Number
153	Roycroft Copper Red	2839
	Quatersawn Oak	2836
	Polished Mahogany	2838
	Aurora Brown	2837
	Roycroft Pewter	2848
	Roycroft Bronze Green	2846
	Roycroft Brass	2843
	Roycroft Battle Green	2847
	Roycroft Vellum	2833
	Birdseye Maple	2834
154	Roycroft Suede	2842
	Weathered Shingle	2841
	Bunglehouse Gray	2845
	Hammered Silver	2840
	Craftsman Brown	2835
	Roycroft Mist Gray	2844
155	Classical White	2829
	Classical Yellow	2865
	Classical Gold	2831
	Colonial Revival Tan	2828
	Colonial Revival Stone	2827
	Colonial Revival Green Stone	2826
	Colonial Revival Sea Green	2825
	Colonial Revival Gray	2832

Non-Residential Architectural Standards

Approved Colors - Exterior Preservation Palette

Color Strip Number	Color Name	Paint Number
156	Sage	2860
	Beige	2589
	Sycamore Tan	2855
	Peace Yellow	2857
	New Colonial Yellow	2853
	Harvest Gold	2858
	Caribbean Coral	2854
	Fairfax Brown	2856

Color Strip Number	Color Name	Paint Number
157	Plymouth Green	2852
	Avocado	2861
	Sage Green Light	2854
	Burma Jungle	2862
	Powder Blue	2863
	Stratford Blue	2864
	Chelsea Gray	2850
	Westchester Gray	2849

Non-Residential Architectural Standards

Approved Colors - Highlights

Color Strip Number	Color Name	Paint Number
H1	Arcade White	7100
	Futon	7101
	White Flour	7102
	Whitetail	7103
	Cotton White	7104
	Paperwhite	7105
	Honied White	7106
H2	Fancy Pink	7107
	Pink Viburnum	7108
	Young at Heart	7109
	Cosmetic Blush	7110
	Laurel Pink	7111
	Pinkish	7112
	Rosate	7113
H3	Palish Peach	7114
	Conch Shell	7115
	A la Mode	7116
	Melon Tint	7117
	French Vanilla	7118
	Venetian Lace	7119
	Dollop of Cream	7120
H4	Corona	7121
	Lemon Drop	7122
	Yellow Beam	7123
	Crescent Moon	7124
	Glittery Yellow	7125
	Pearl Onion	7126
	Apple Slice	7127
H5	Green Glaze	7128
	Opera Glass	7129
	Aquacade	7130
	Brooklet	7131
	Water Squirt	7132
	Faraway Blue	7133
	Tibetan Sky	7134
H6	Twinkle	7135
	Chapeau Violet	7136
	Violet Vignette	7137
	Lavender Wisp	7138
	Lady's Slipper	7139
	Snowberry	7140
	Feathery Lilac	7141

Additional Colors Approved by the Design Review Board

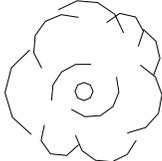
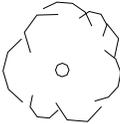
Color Strip Number	Color Name	Paint Number
90	Jalapeno	6629
91	Husky Orange	6636

Color Name
Texas A&M University - Aggie Maroon

Landscape & Streetscape Standards

Submittal Requirement

All landscape and streetscape submittals shall provide a legend including information such as species, size, quantity, point value of plantings, and over all point totals.

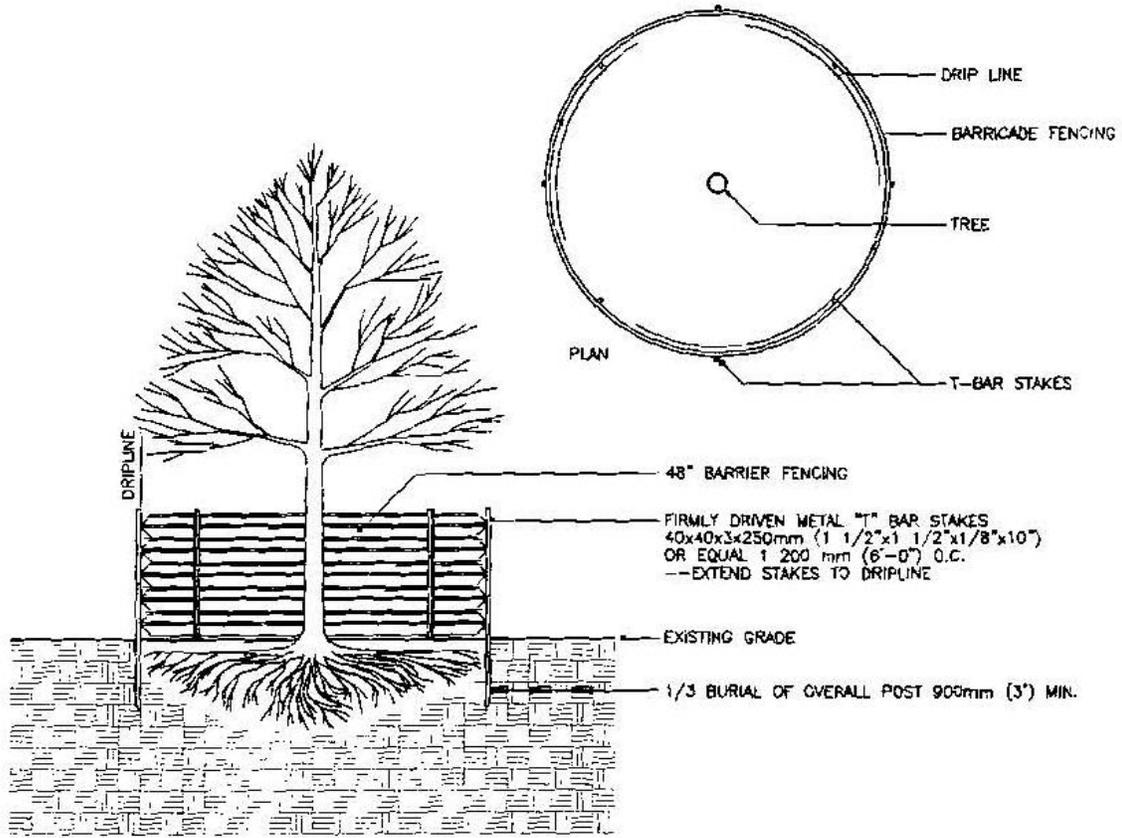
City of College Station SAMPLE LEGEND LANDSCAPING POINT CALCULATIONS					
<u>SYMBOL</u>	<u>SIZE</u>	<u>NAME & TYPE</u>	<u>QUANTITY</u>	<u>POINT VALUE</u>	<u>POINT</u>
	8" AND LARGER EXISTING W/BARRICADE	LIVE OAK TREE (Quercus Virginiana) Canopy tree	2	300	600
	4" TO 8" EXISTING W/BARRICADE	LIVE OAK TREE (Quercus Virginiana) Canopy tree	13	200	2600
	2" TO 14.5" CALIPER EXISTING W/O BARRICADE	LIVE OAK TREE (Quercus Virginiana) Canopy tree	8	35	280
	1.25" CALIPER AND LARGER	TREE CREPE MYRTLE (Lagerstroemia indica) Non-canopy tree	6 (NEW)	40	240
	5 GAL	WAX LEAF LIGUSTRUM (Ligustrum texanum) Shrub	46 (NEW)	10	460
NOTE: Symbols are for reference. Any symbols used must be distinguishable at any scale					
BARRICADE FOR INDICATED TREES TO BE CONSTRUCTED WITH 48" HIGH ORANGE PLASTIC CONSTRUCTION NETTING AND SECURED TO STEEL T-POSTS. BARRICADE TO BE PLACED IN A CIRCLE AROUND INDICATED TREES A RADIAL DISTANCE OF 1' FOR EVERY 1" CALIPER OF TREE. BARRICADE MUST BE IN PLACE PRIOR TO ANY DEVELOPMENT ACTIVITY AS WELL AS THROUGHOUT THE CONSTRUCTION PROCESS.					
STREETSCAPE: (136.57' / 50) x 300 PTS = 820 PTS (136.57' / 25) = 6 CANOPY TREES POINTS PER PROJECT AREA: 26,416.3 SQUARE FEET OF SITE AREA 26,416.3 / 1,000 = 26.42 26.42 x 30 = 792.6 = 793 POINTS TOTAL POINTS REQUIRED: 1,613 TOTAL POINTS PROPOSED: 4,180					

Tree Preservation

To receive barricaded points for existing trees, they must be barricaded one foot per caliper inch. A barricade detail must be provided on the landscape plan. Barricades must be in place prior to any activity on the property including, but not limited to, grading. If in any event the required barricades are not in place prior to any activity and maintained during construction, barricaded points will be forfeited.

Landscape & Streetscape Standards

Barricade Detail shown below.



Landscape & Streetscape Standards

Planting List

This list recommends several species that do well in the College Station area. Not every species will perform well in all locations, and some species have detriments that need to be considered. Careful evaluation of the site, soils, available growing area, and climate needs to be exercised when selecting species. The legend below indicates how certain plantings may be utilized within a landscape plan according to Section 7.5 of the Unified Development Ordinance. In addition, this legend also shares information regarding other specific attributes.

Qualifications Legend

***Recommended by Texas Forest Service for Brazos County**

1=streetscape planting

2=screening

3=salt tolerant

4=evergreen

5=low water usage/drought tolerant

6=high water usage

7=native to Texas

Canopy Trees (40'+ canopy)

Common Name	Scientific Name	Qualifications
*American Elm	(Ulmus Americana)	1, 3, 5, 7
*Bald Cypress	(Taxodium distichum)	1, 3, 5, 7
*Bur Oak	(Quercus macrocarpa)	1, 3, 5, 7
*Cedar Elm	(Ulmus crassifolia)	1, 3, 5, 7
*Live Oak	(Quercus virginia)	1, 3, 4, 5, 7
*Pecan	(Carya illinoensis)	1, 3, 5, 7
*River Birch	(Betula Niagra)	1, 3, 7
*Shumard Red Oak	(Quercus shumardii) or (Q. texana)	1, 3, 5, 7
*Water Oak	(Quercus nigra)	1, 3, 7
*Western Soapberry	(Sapindus drummondii)	1, 5, 7
*Willow Oak	(Quercus phellow)	1, 3, 5, 7
American Sycamore	(Platanus occidentalis)	3, 5, 7
Chinese Pistache	(Pistacia chinensis)	1, 5
Chinkapin Oak 7	(Quercus muehlenbergii)	1, 5, 7
Drake Elm	(Ulmus parvifolia 'Drake')	1, 4
Lacey Oak 7	(Quercus glaucoides)	5, 7
Leyland Cypress	(Cupressocyparis leylandii)	3, 4(semi)

Landscape & Streetscape Standards

Canopy Trees continued...

Post Oak- existing only	(<i>Quercus stellata</i>)	7, 8
Texas Ash	(<i>Frazinus texensis</i>)	1, 3, 5, 7
Texas Pistache 8	(<i>Pistachia texana</i>)	1, 4, 5, 7
Winged Elm 6	(<i>Ulmus alata</i>)	1

Non-Canopy Trees

Common Name	Scientific Name	Qualifications
*American Holly	(<i>Ilex opaca</i>) partial to shade	1, 3, 4, 5, 7
*Carolina Cherry Laurel	(<i>Prunus caroliniana</i>)	1, 3, 4, 5, 7
*Chaste Tree	(<i>Vitex Negundo</i>)	1, 3, 5
*Crepe Myrtle	(<i>Lagerstroemia indica</i>)	1, 3, 5
*Eastern Red Cedar	(<i>Juniperus virginiana</i>)	1, 3, 4, 5, 7
*Eve's Necklace tree	(<i>Sophora affinis</i>)	1, 5, 7
*Goldenrain Tree	(<i>Koelreuteria paniculata</i>)	1, 3, 5
*Japenese Black Pine	(<i>Pinus thunbergiana</i>)	1, 3, 4, 5
*Lacebark Elm	(<i>Ulmus parvifolia</i>) (similar to Siberian Elm)	1, 3, 5
*Mexican White Oak	(<i>Quercus polymorpha</i>)	1, 4(semi), 5, 7
*Mexican Plum	(<i>Prunus mexicana</i>)	1, 4(semi), 5, 7
*Possumhaw Holly	(<i>Ilex decidua</i>)	1, 5, 7
*Prairie Flameleaf Sumac	(<i>Rhus lanceolata</i>)	1, 5, 7
*Texas Red Bud	(<i>Cercis canadensis</i>)	1, 5, 7
*Tree Yaupon	(<i>Ilex vomitoria</i>)	1, 3, 4, 5, 7
Bradford Pear	(<i>Pyrus species</i>)	1, 5
Chinese Fringe tree	(<i>Chionanthus retusus</i>)	5
Coppertone Loquat	(<i>Eriobotrya japonica</i>)*	4
Italian Cypress	(<i>Cupressus sempervirens</i>) *	3, 5
Rusty Blackhaw Viburnum	(<i>Viburnum rufidulum</i>)	1
Shining Sumac	(<i>Rhus copalina</i>)	1, 5, 7
Texas Kidneywood	(<i>Eysenhardtia texana</i>)	5, 7
Texas Mountain Laurel	(<i>Sophora secundiflora</i>)	1, 3, 4, 5
Texas Persimmon	(<i>Diospyros texana</i>)	1, 5, 7
Wax Myrtle Tree	(<i>Myrica cerifera</i>)	1, 4, 5, 7

Landscape & Streetscape Standards

Shrubs (Please be aware that dwarf species are not permitted in required screening areas or in required buffer areas.) **(grasses must be a perennial)**

Common Name	Scientific Name	Qualifications
Adam's Needle Yucca	(Yucca filamentosa)	3, 4, 5
Abelia	(Abelia grandiflora)	2, 5
Althea	(Hibiscus syriacus)	2,3, 5
Agrito	(Berberis trifoliolata)	2, 4
American Beautyberry	(Callicarpa americana)	3, 5
Aromatic Sumac	(Rhus aromatic)	3, 5
Belinda's Dream Rose	(Rose 'Belinda's Dream')	2, 5, 7
Boxwood	(buxus) multiple varieties	2, 4, 5
Carolina Buckthorn	(Rhamnus caroliniana)	5
Carolina Laurel Cherry	(Prunus caroliniana 'Bright 'n Tight, (pruned properly for screening not height)	2, 3, 4, 5, 7
Cast Iron plant	(Aspidistra elatior) – needs shade	5
Clyera	(Ternstroemia gymnanthera)	2, 4, 5
Elaeagnus	(Elaeagnus macrophylla)	2, 3, 5
Acanthus	(Anisacanthus quadrifidus var 'wrightii')	5
Fountain grass	(Pennisetum setaceum)	5
Gold Dust Aucuba	(Aucuba japonica)*	2, 4, 6
Golden Euonymus	(Euonymus japonica 'Aureo-marginata')	2, 3, 4, 5
Gold Star Esperanza	(Tecoma stans 'Gold Star')	3, 5, 7
Grandma's Yellow Rose	(Rose 'Nacogdoches')	5, 7
Gulf Muhly grass	(Muhlenbergia capillaries)	5
Hicks Yew	(Taxus x medua 'Hicksii')	2, 4, 5(semi)
Holly, upright	zone appropriate species	2, 3, 4, 5
Indian Hawthorn	(Raphiolepis indica)	2, 3, 4, 5
Juniper species, upright	(Juniperus species)	2, 3, 4, 5
(there are many more varieties of Junipers but be careful to avoid the ones with bagworm susceptibility)		
Knock-Out Rose	(Rose 'Radrazz')*	5
Maiden grass	(Miscanthus sinensis)	2, 3, 5
Mexican Bush Sage	Salvia leucantha)	2, 5
Nandina	(Nandina domestica 'compacta' or others if zone appropriate)	2, 3, 4, 5

Landscape & Streetscape Standards

Shrubs continued...

Oleander	(Nerium oleander sp. (red or white are the hardiest)	2, 3, 4, 5
Pampas Grass	(Cortaderia selloana sp.)	3, 4(semi)
Photinia Species	(Photinia x fraseri)	2, 4
Pineapple Guava	(Feijoa sellowiana)	2, 3, 4, 6
Pittosporum Species	(Pittosporum tovira)	2, 3
Primrose Jasmine	(Jasminum mesnyi (J. primulinum)	2, 4, 6
Pyracantha	(Pyracantha species)	2, 4
Rosemary, upright	(Rosmarinus officinalis)	2, 4, 5
Russian Sage	(Perovskia longifolia)	3, 5
Sago Palm	(Cycas revolute)	3, 4
Soft Leaf Yucca	(Yucca recurvifolia)*	3, 5
Spirea	(Spirea species)	2, 5
Texas Firecracker Bush	(Hamelia patens)	3, 5
Texas sage	(Leucophyllum frutescens) (‘Greencloud’ or sp.)	2, 3, 4, 7
Viburnum species	(Leatherleaf, Walter’s(3) Viburnum macrophyllum or sp.)	2, 3, 4
Waxleaf Ligustrum	(ligustrum japonicum)	2, 3, 5
Wax Myrtle	(Myrica pusilla)	2, 3, 4, 5
Whitebrush	(Aloysia gratissima)	2, 5, 7
Yaupon	(Ilex vomitoria 'nana')	2, 3, 5

Groundcovers and Vines (grasses must be a perennial)

Common Name	Scientific Name	Qualifications
Asparagus Fern	(Asparagus densiflorus)	3
Algerian Ivy	(Hedera canariensis)	4, 6
Asian Jasmine	(Trachelospermum asiaticum)	4(semi),5(semi)
Baby Sun Coreopsis	(Coreopsis g. 'baby sun')	5
Big Blue Lily Turf	(Liriope Muscari)	4, 5
Carolina Jessamine	(Gelsemium sempervirens)	4, 6
Creeping Juniper	(Juniperus horizontalis)	4, 5
Daylilly	(Hemerocallis)	3
Dwarf Pampas Grass	(Cortaderia selloana 'Pumila')	3, 4(semi)
English Ivy	(Hedera helix)	3

Landscape & Streetscape Standards

Groundcover and Vines continued...

Star Jasmine	(Trachelospermum jasminoides)	4
Gregg Salvia	(Salvia Greggii)	4, 5
Henry Duelberg Salvia	(Salvia farinácea 'Henry Duelberg')	5, 7
Monkey Grass	(Ophiopogon japonicum)	4, 6
Mexican Feather Grass	(Nassella tenuissima)	5
Ribbon Grass	(Phalaris arundinacea)	5
Sage	(Salvia Farinacea)	2, 3, 4
Small-leaf Spiderwort	Tradescantia fluminensis)	4, 5
Texas Lantana	(Lantana horrida)	3, 7
Turk's Cap	(Malvaviscus arboreus 'drummondii')	4(semi), 7
Vinca	(Vinca major and V. minor)	4, 6

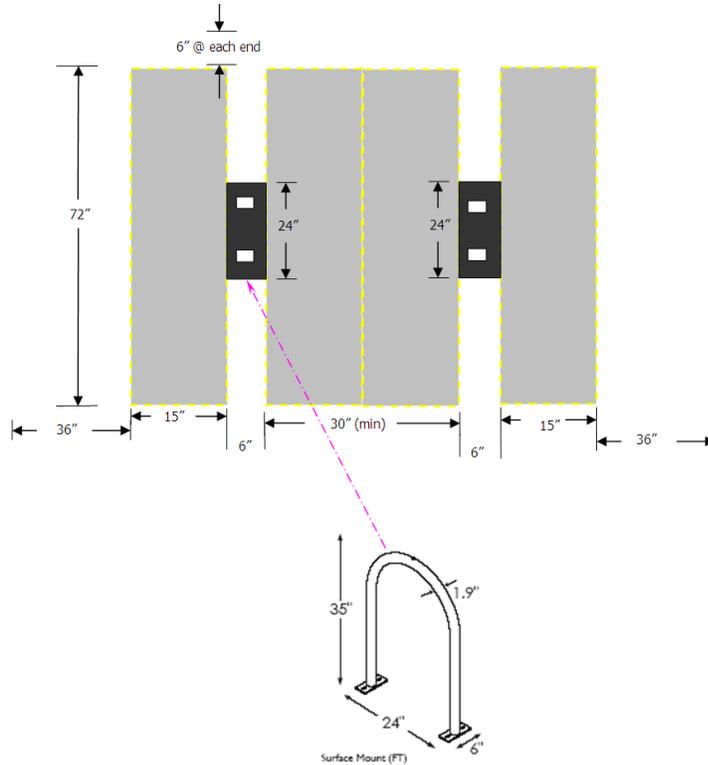
Turfgrasses

Common Name	Scientific Name	Qualifications
Buffalo grass	(Anthoxanthum odoratum)	5, 7
Common Bermuda	(Cynodon dactylon)	3, 5 (semi)
Tifway 419 Bermuda	(Cynodon 'TIFF 419')	5 (semi)
St. Augustine	(<i>Stenotaphrum secundatum</i>)	3, 6
Zoysia	(Zoysia species)	3, 5

Northgate Specific Standards

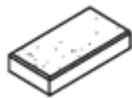
The following specifications shall be used when developing a site in Northgate:

Bicycle Racks: Inverted "U" bicycle racks or equivalent, subject to approval by the Administrator. See layout below.



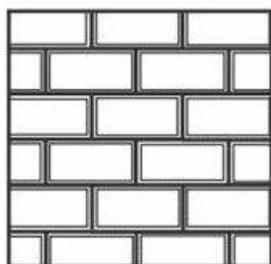
DRAWING NOT TO SCALE

Brick Pavers and Approved Patterns: Holland Stone by Pavestone in River Red, or equivalent subject to approval by the Administrator. Brick pavers may be used on sidewalks and on streets at crosswalks or in intersections. Brick pavers in streets and sidewalks are to be placed on top of full depth concrete pavement, as specified in the B/CS Unified Design Guidelines Manual.

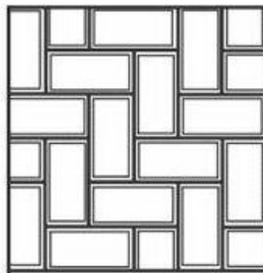


7-13/16" x 3-7/8" x 2-3/8" (Minimum Height/Thicknesses: 2-3/8")
(Fractional dimensions are nominal)

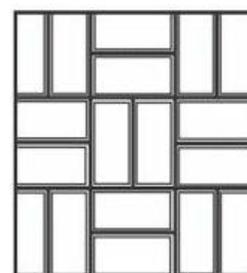
Approved brick patterns are as follows. All sidewalks on the same block shall use the same brick pattern.



Runner Bond



90° Herringbone



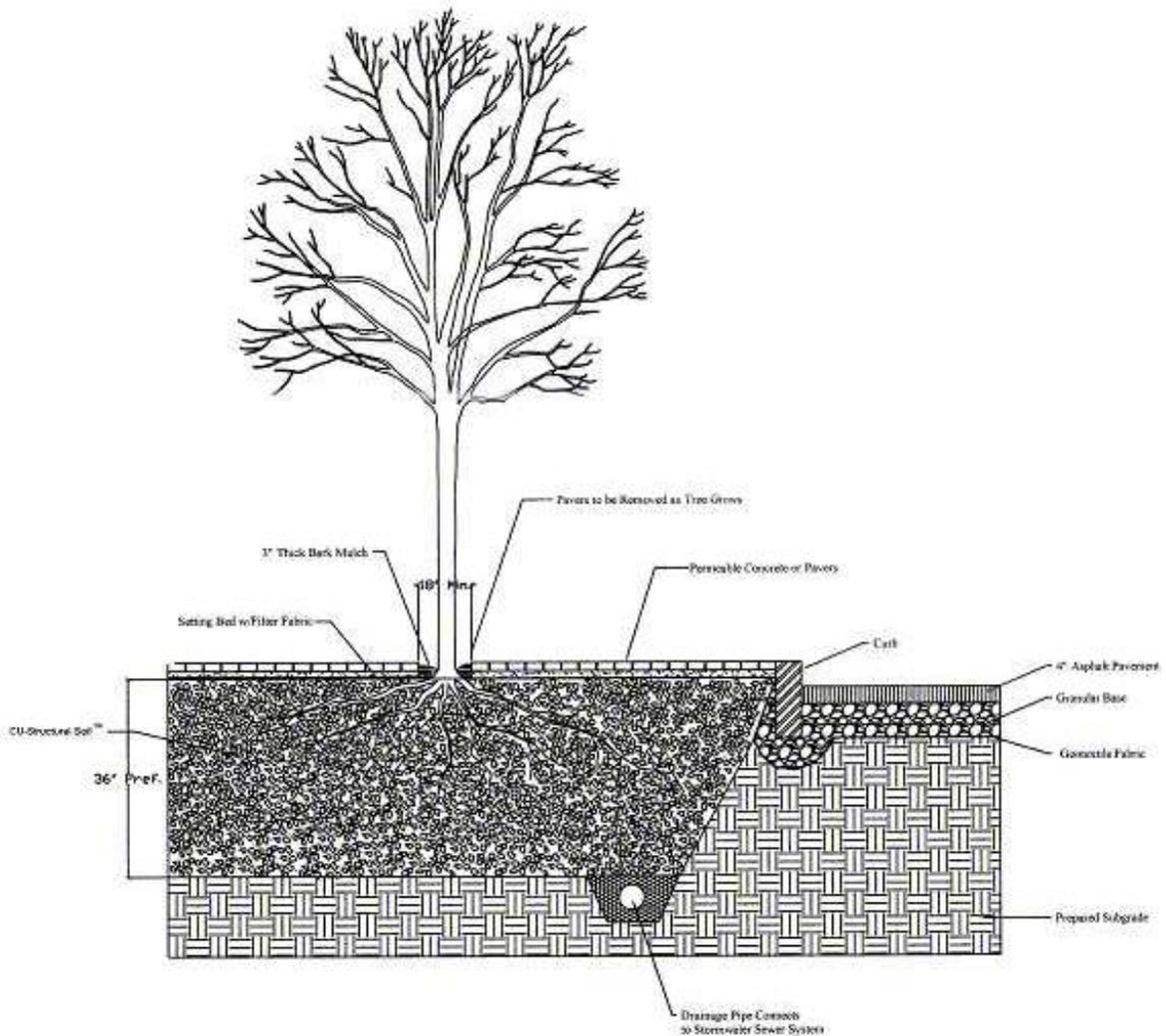
Parquet

Northgate Specific Standards

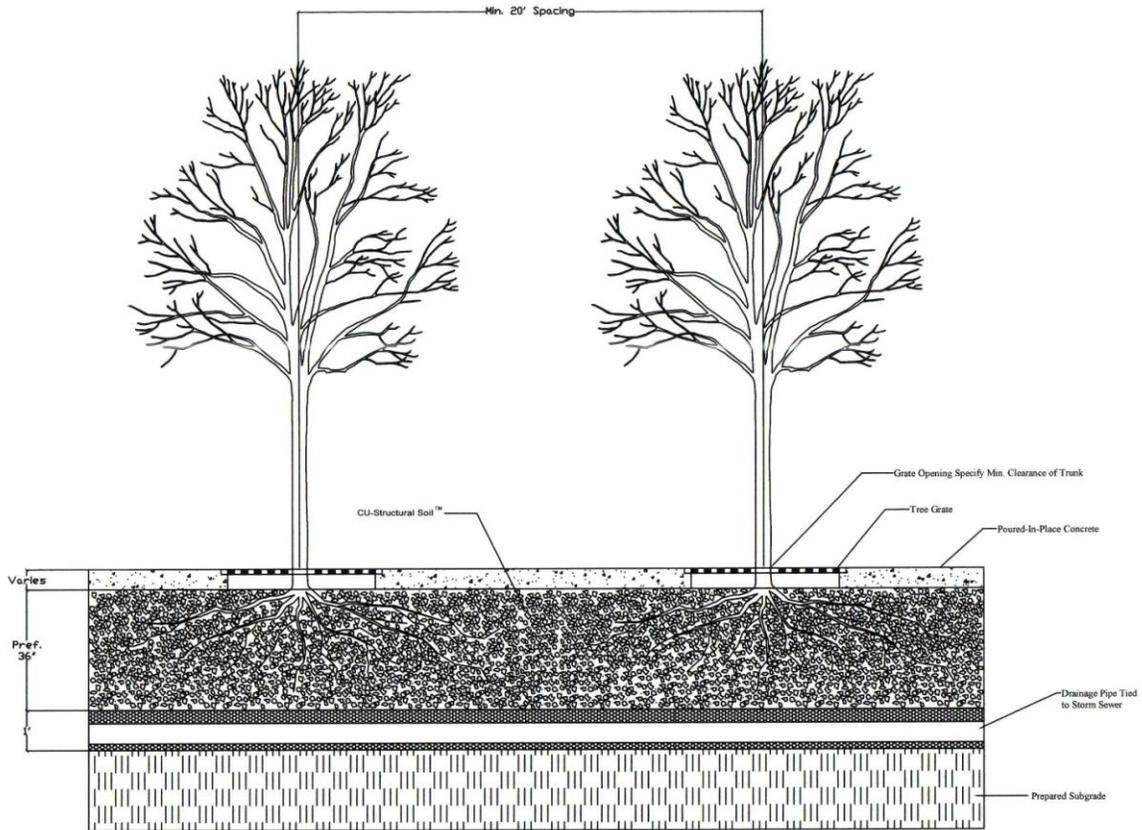
Required Street Tree Options

- Live Oak (Quercus virginiana)
- Cedar Elm (Ulmus crassifolia)
- Drake Elm (Ulmus parvifolia 'Drake')
- Eastern Red Cedar (Juniperus virginiana)
- Shumard Oak (Quercus shumardii)
- Bald Cypress (Taxodium distichum)

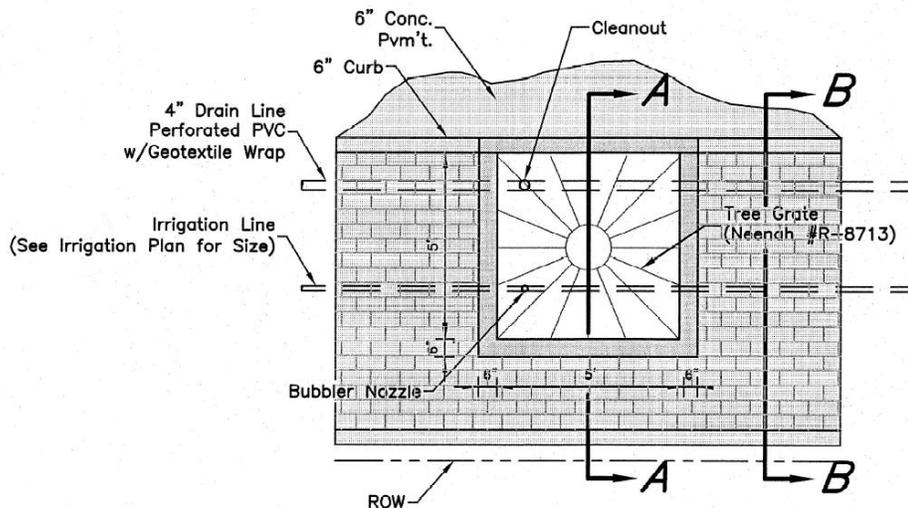
Street Tree Soil: CU-Structural Soil™ by Amereq, Inc., or equivalent subject to approval by the Administrator. Structural soil is an urban tree mix that can safely support pavements and sidewalks and is designed to provide ample rooting area for street trees, decreasing tree mortality and sidewalk failure.



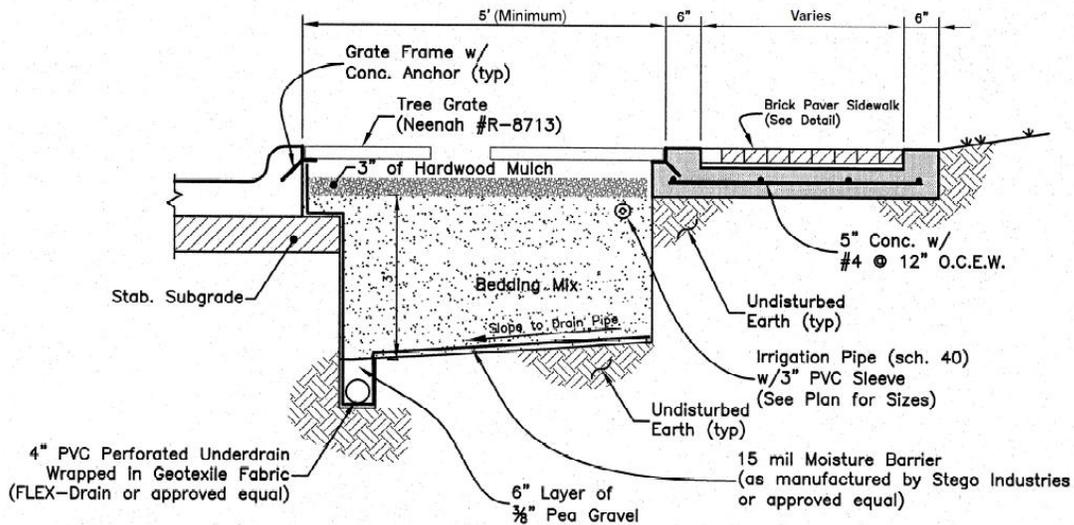
Northgate Specific Standards



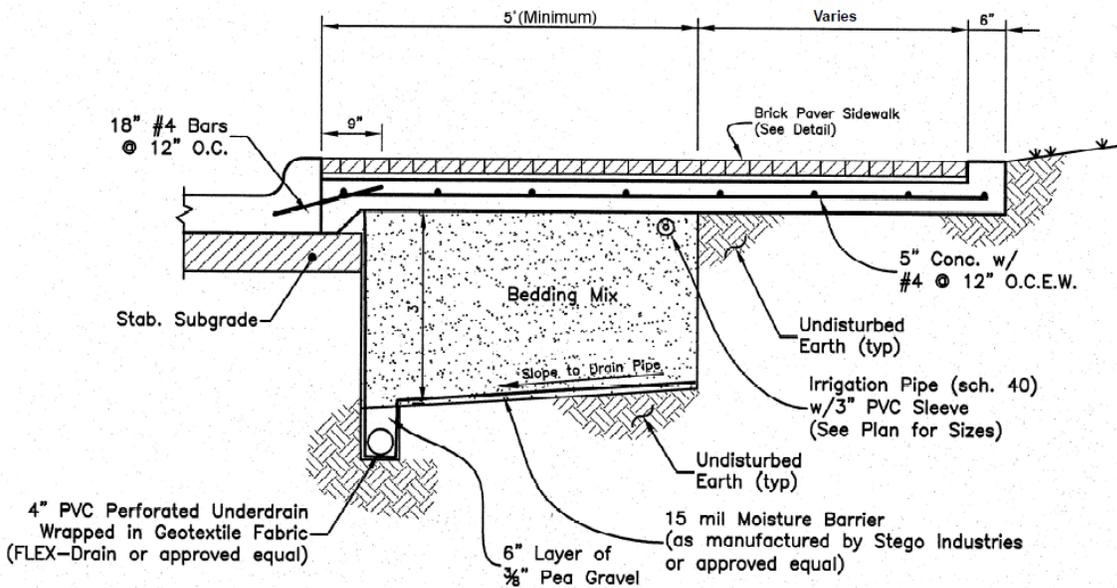
As an alternative to structural soil, an engineered design can be submitted. The design shall bridge the bedding material by tying the sidewalk into the curb and back to undisturbed soil and provide enough structural support to handle vehicles parking and driving on the sidewalk. Street tree/sidewalk components of a project shall be site specific and include structural design and utility conflicts. Design shall also provide for irrigation and drainage of the street trees. The following details are an example of a design that was utilized on a street project. They are provided only as an example.



Northgate Specific Standards



SECTION A-A



SECTION B-B

****Note:** These details are provided as an example of structurally bridging the bedding. Actual design shall be engineered specific to the site and include structural design and utility conflicts

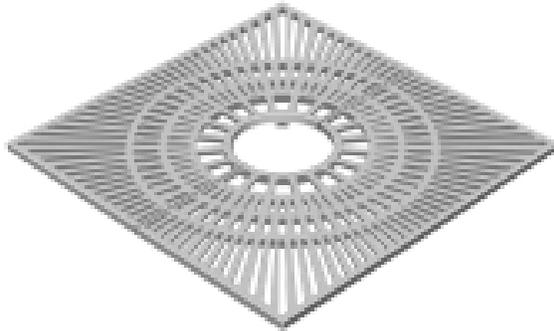
Tree Planters: Elevating planting spaces above sidewalks or parking lots is a good way to provide more soil volume, provide positive drainage and discourage compaction due to pedestrian traffic. With heights up to 36 inches, the planter lip can also provide seating.

Raised planters should be a minimum of six feet by six feet (6' x 6') and 18 inches high. The maximum height is three feet (3'). Tree planter will be constructed of brick and will match the required sidewalk pavers, alternatives subject to approval by the Administrator.

The bottom of the bed should be kept open and planting soil should be cultivated into the original soil to encourage roots to escape from the bed into surrounding soil.

Northgate Specific Standards

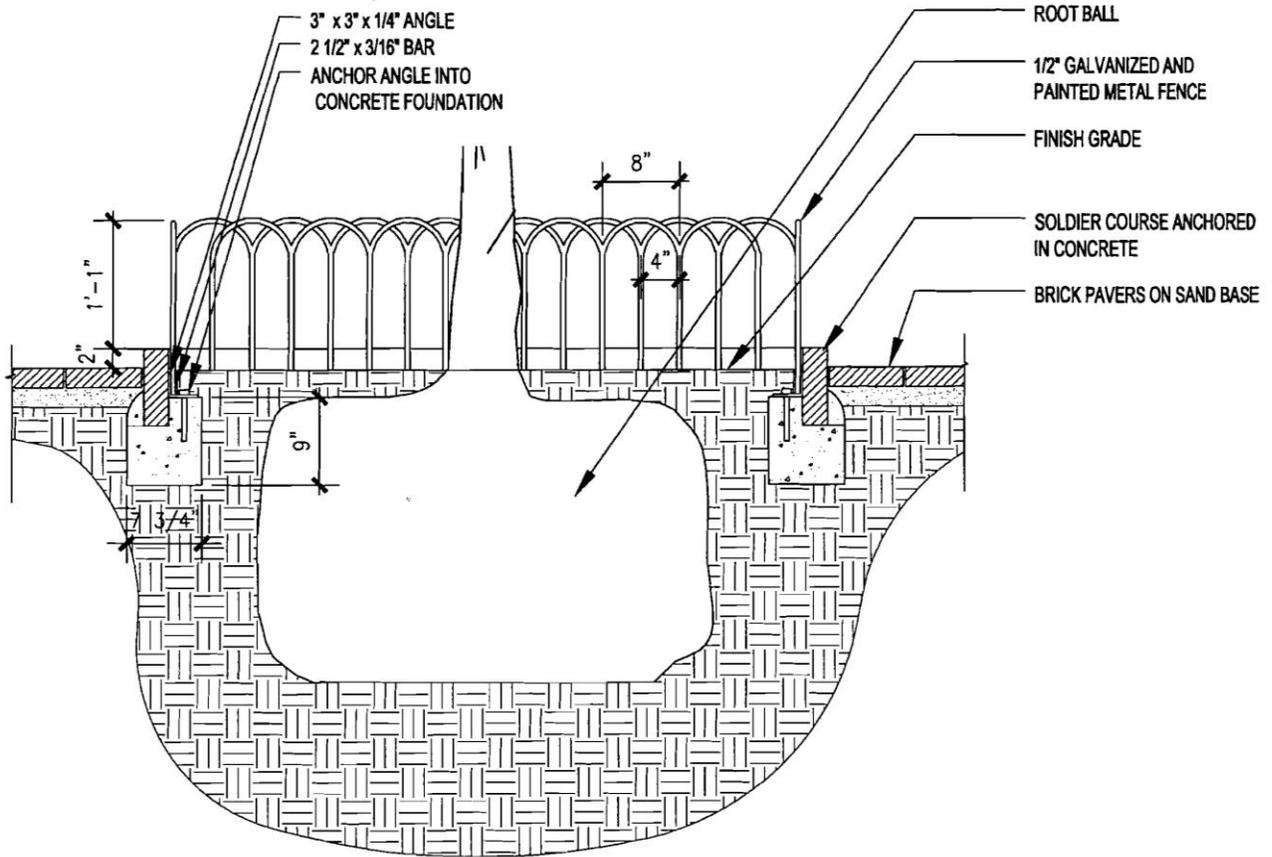
Tree Grates: Parkway Collection Model R-8738-A1 by Neenah Foundry Company, or equivalent subject to approval by the Administrator. See picture below.



60" square with 16" diameter expandable tree opening. Bolted light opening grates (8-1/4"x17-1/8"x5-3/8") for use with or without sub-grate lighting.

Tree grates and frames shall be of cast iron. Gray Iron castings shall conform to A.S.T.M. A-48, Class 35 or better.

Tree Wells:



Northgate Specific Standards

Sidewalk Benches: Steelsites RB Series Model RB-28 or RB-12 by Victor Stanley Inc., or equivalent; subject to approval by the Administrator.



1/4 x 1-1/2 (6.4 x 38.1mm) steel seat members.

Finished end sections are 1/2 x 2 (12.7 x 50.8 mm) solid steel bar, welded and ground.

Electrostatically powder-coated with polyester powder coatings.

Black or Bronze (Brown) powder coating color



Benches are to be six feet (6') minimum in length.

Four-foot (4') benches are permitted when placed perpendicular to the street and four feet (4') minimum clear space is maintained for an accessible route.

When a four-foot (4') is used, it is recommended to orient a pair of benches towards each other to create conversation spaces.

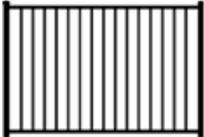
Trash Receptacles: Ironsites Series Model S-42 by Victor Stanley Inc., or equivalent; subject to the approval of the Administrator.



36-gallon
Solid 3/8"-thick vertical steel bars
High strength plastic liner
Black or Bronze (Brown) powder coating color

Northgate Outdoor Dining Standards

Physical Barricade: Northgate Outdoor Dining on College Main are required to provide a Commercial Aluminum Fence Panel Style 9, by GreatFence.com, or equivalent.

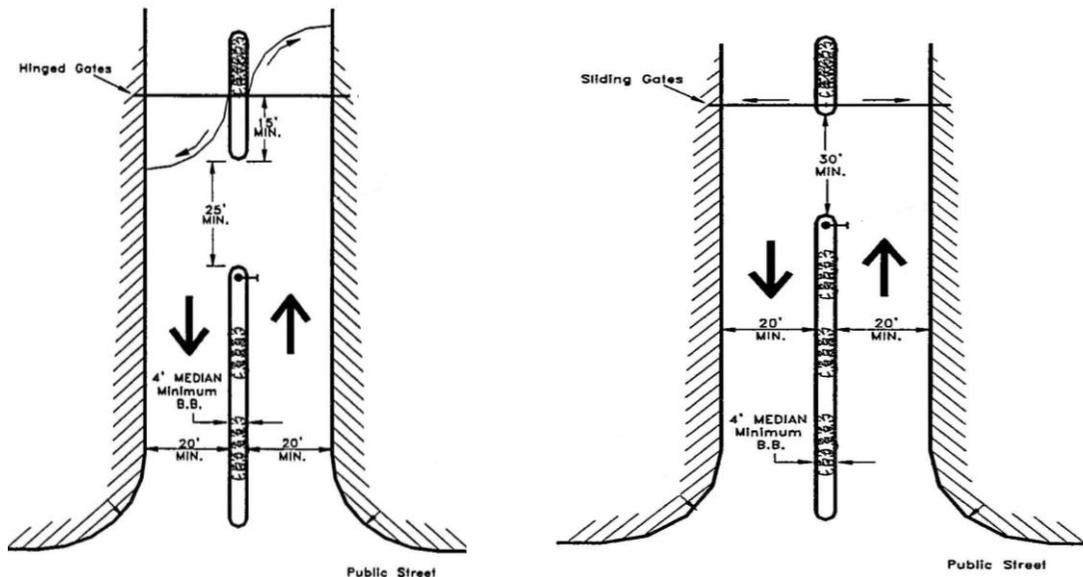
<p>Hand Railing Specifications</p>	<p>Great Fence.com or equivalent</p> 
<p>Picket: Size Spacing Height</p>	<p>3.4" sq. x .055" 3 5/8" 36"</p>
<p>Rails: Top Walls Side Walls</p>	<p>1 3/8" x .065" 1 1/4" x .088"</p>
<p>Post : Size Height</p>	<p>2.5" sq. x 2.5" 39"</p>
<p>Fasteners</p>	<p>Stainless Steel</p>
<p>Material</p>	<p>Premium Aluminum</p>
<p>Finish</p>	<p>High- Quality Exterior Paint for Metal or superior finish</p>
<p>Color</p>	<p>Flat Black</p>
<p>Strength</p>	<p>ICC Code Compliant</p>

Miscellaneous Site Development Standards

Gating of Multi-Family Developments

Gated multi-family developments must demonstrate that the following standards will be met on the site plan:

- Access shall be provided at all times for police, fire, city inspection, mail delivery, garbage pickup, dial-a-rides, utility, school buses, and other health and safety-related vehicles. Access must not require drivers to exit their vehicles.
- The gate shall not be placed in a public right-of-way or easement.
- Adequate access for pedestrians and bicycles must be provided along the perimeter of the gate.
- Adequate turn around areas for vehicles that are denied access shall be provided in order to prevent backing into a public street.
- Gated entryway throat length designs taking access from residential, major collector, or minor collector roadways, shall meet the following requirements:
 - A minimum of 60 feet (60') for up to 25 multi-family units, or
 - A minimum of 100 feet (100') for 26 multi-family units or greater.
- Gated entry way throat length designs taking access from major and minor arterials shall be reviewed and approved on a case by case basis by the City of College Station's Transportation Planner.
- The gated entry pavement widths, for both ingress and egress, shall be a minimum of 20 feet (20') per driveway and are required to provide a minimum 4 feet (4') center median.
- The gated area shall provide a minimum unobstructed vertical clearance of 14 feet six inches (14' 6") from finished roadway surface over the entire width of the entry roadway.
- All key pads shall be placed four feet (4') to six feet (6') above finished grade of the roadway.



General Site Plan Notes

The following General Notes should be included on the Site Plan:

- "All roof and ground-mounted mechanical equipment shall be screened from view or isolated so as not to be visible from any public right-of-way or residential district within 150' of the subject lot, measured from a point five feet above grade. Such screening shall be coordinated with the building architecture and scale to maintain a unified appearance."
- "100% coverage of groundcover, decorative paving, decorative rock, or a perennial grass is required in parking lot islands, swales and drainage areas, the parking lot setback, rights-of-way, and adjacent property disturbed during construction."
- "Irrigation system will be protected by either a Pressure Vacuum Breaker, a Reduced Pressure Principle Back Flow Device, or a Double-Check Back Flow Device, and installed as per City Ordinance 2394."
- "All back flow devices will be installed and tested upon installation as per City Ordinance 2394."

Site Plan Submittal Standards

SITE PLAN MINIMUM REQUIREMENTS (ALL CITY ORDINANCES MUST BE MET) INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

- Sheet size - 24" x 36" (minimum).
- A key map (not necessarily to scale).
- Title block to include:
 - Name, address, location, and legal description
 - Name, address, and telephone number of applicant
 - Name, address, and telephone number of developer/owner (if differs from applicant)
 - Name, address, and telephone number of architect/engineer (if differs from applicant)
 - Date of submittal
 - Total site area
- North arrow.
- Scale should be largest standard engineering scale possible on sheet.
- Ownership and current zoning of parcel and all abutting parcels.
- The total number of multi-family buildings and units to be constructed on the proposed project site.
- The density of dwelling units per acre of the proposed project.
- The gross square footage of all buildings and structures and the proposed use of each. If different uses are to be located in a single building, show the location and size of the uses within the building. Building separation is a minimum of 15 feet w/o additional fire protection.

Locations of the following on or adjacent to the subject site:

Designate between existing and proposed

- Phasing. Each phase must be able to stand alone to meet ordinance requirements.
- Buildings (Existing and Proposed).
- Setbacks according to UDO, Article 5.
- Building elevations, color samples, and materials list for non-residential buildings. Indicate placement of materials on facades according to UDO, Section 7.9. Include the following dimensions:
 - Total vertical square footage minus openings (for each façade separately)
 - Total vertical square footage of each building material (for each façade separately)
 - Total vertical square footage of each color (for each façade separately)

Geography

- Water courses.
- 100 yr. floodplain and floodway (if applicable) on or adjacent to the proposed project site, please note if there is none on the site with confirming FEMA/FIRM map number.
- Existing topography (2' max or spot elevations) and other pertinent drainage information. (If plan has too much information, show drainage on separate sheet.)
- Proposed grading (1' max for proposed or spot elevations) and other pertinent drainage information. (If plan has too much information, show drainage on separate sheet.)

Site Plan Submittal Standards

Fire Protection

- Show fire lanes. Fire lanes with a minimum of 20 feet in width with a minimum height clearance of 14 feet must be established if any portion of the proposed structure is more than 150 feet from the curb line or pavement edge of a public street or highway.
- Show proposed and existing fire hydrants. Fire hydrants must be located on the same side of a major street as a project, and shall be in a location approved by the City Engineer. Any structure in any zoning district other than R-1, R-1A, or R-2 must be within 300 feet of a fire hydrant as measured along a public street, highway or designated fire lane.
NOTE: Fire hydrants must be operable and accepted by the City, and drives must have an all weather surface before a building permit can be issued.
- Will building be sprinkled? Yes No
If the decision to sprinkle is made after the site plan has been approved, then the plan must be resubmitted.
If Yes,
- Show fire department connections. FDC's should be within 150' of the fire hydrant. In no case shall they be any further than 300' apart, and they shall be accessible from the parking lot without being blocked by parked cars or a structure.

Landscaping

- Landscape plans as required in Section 7.5 or 7.9 of the Unified Development Ordinance. The landscaping plan can be shown on a separate sheet if too much information is on the original site plan. If requesting protected tree points, then those trees need to be shown appropriately barricaded on the landscape plan. Attempt to reduce or eliminate plantings in easements. Include information on the plans such as:
 - required point calculations
 - additional streetscape points required. Streetscape compliance is required on all streets.
 - calculations for # of street trees required and proposed (proposed street tree points will accrue toward total landscaping points.)
 - proposed new plantings with points earned
 - proposed locations of new plantings
 - screening of parking lots, 50% of all shrubs used for screening shall be evergreen.
 - screening of dumpsters, concrete retaining walls, off street loading areas, utility connection points, or other areas potentially visually offensive.
 - existing landscaping to remain
 - show existing trees to be barricaded and barricade plan. Protected points will only be awarded if barricades are up before the first development permit is issued.
 - Buffer as required in Section 7.6 of the Unified Development Ordinance.
- Show irrigation system plan. (or provide note on how irrigation system requirement will be met prior to issuance of C.O.) All plans must include irrigation systems for landscaping. Irrigation meters are separate from the regular water systems for buildings and will be sized by city according to irrigation demand submitted by applicant and must include backflow prevention protection.
- Is there any landscaping in TxDOT R.O.W.? Yes No
If yes, then TxDOT permit must be submitted at the time of application.

Site Plan Submittal Standards

Other

- Common open spaces sites
 - Loading docks
 - Detention ponds
 - Retaining walls
- Sites for solid waste containers with screening. Locations of dumpsters are accessible but not visible from streets or residential areas. Gates are discouraged and visual screening is required. (Minimum 12 x 12 pad required.)
- Are there impact fees associated with this development? Yes No

NOTE: Signs are to be permitted separately.