

## RESIDENTIAL REMODELS & ADDITIONS

### GENERAL INFORMATION

The remodel of, or addition to, a single-family or duplex dwelling unit (whether detached or attached) requires a building permit. All construction must comply with the International Residential Code as adopted and amended by the City of College Station.

A homeowner may perform some aspects of work on their homestead, but any plumbing, mechanical (HVAC) or electrical work must be performed by a contractor licensed by the State of Texas and must be [registered as a contractor](#) with the City of College Station. Any contractor performing remodeling in excess of \$10,000 must also be registered with the Texas Residential Construction Commission (TRCC).

### APPLICATIONS & FEES

In order to obtain a building permit, an [Application for Building Permit](#) must be completed and submitted along with one (1) copy of the building plans. A [permit fee](#) is required upon approval of application. Submission for a building permit should be made through our online [eTRAKIT](#) permitting system.

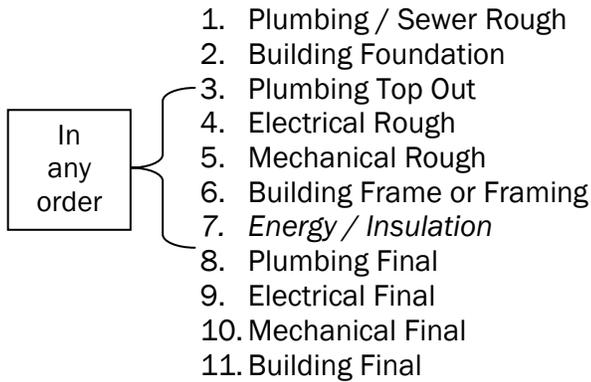
### PLANS SUBMITTAL REQUIREMENTS

A copy of a site plan with dimensions indicating the location of the house on the property and showing easements, setbacks, driveways and property pins. Plans with dimensions indicating how the structure will be constructed. These plans should include foundation plans, floor plans, elevation drawings, wall-bracing details, electrical plans, mechanical plans, plumbing plans, materials used and spacing of framing members.

In order to ensure that the structure complies with all building codes and city regulations, the Planning & Development Services Building Division will complete a detailed review of the application, site plan and all submitted construction documents prior to the issuance of a residential building permit. The plans will also be reviewed for compliance with planning and zoning regulations. The proposed use of the structure will be checked for compatibility with the zoning district in which the structure is located. If any problems are uncovered during the applicatio /plan review process, the applicant will be required to make the necessary corrections before a building permit can be issued. Once the permit has been issued, construction must begin on the project within 180 days. Failure to start construction or to have the appropriate inspections completed could result in the expiration of the permit and delay in construction.

## INSPECTIONS

For remodels and additions all or a portion of the following inspections will be required:

- 
- In any order
1. Plumbing / Sewer Rough
  2. Building Foundation
  3. Plumbing Top Out
  4. Electrical Rough
  5. Mechanical Rough
  6. Building Frame or Framing
  7. *Energy / Insulation*
  8. Plumbing Final
  9. Electrical Final
  10. Mechanical Final
  11. Building Final

The project contractor and/or subcontractor will need to contact the Building division for each inspection and receive approval for the inspection before proceeding to the next phase of construction.

Once the structure is complete, arrangements should be made with the Building division for a final inspection of the structure. When final approval has been given, the Certificate of Occupancy or Certificate of Completion will be issued and the structure can be occupied.

## ADDITIONAL INFORMATION

Please contact Planning & Development Services at [cspds@cstx.gov](mailto:cspds@cstx.gov) or 979.764.3570 for additional information.